

# Pender County Planning and Community Development

## Planning Division

805 S. Walker Street  
PO Box 1519  
Burgaw, NC 28425



Phone: 910-259-1202  
Fax: 910-259-1295  
[www.pendercountync.gov](http://www.pendercountync.gov)

## AGENDA

**Pender County Planning Board  
Tuesday, February 5, 2013 7:00 p.m.  
Pender County Public Meeting Room  
805 S. Walker Street, Burgaw, North Carolina**

**Call to Order:** Chairman Boney

**Roll Call:** Chairman Boney

Pender County Planning Board Members:

Boney: \_\_\_\_ Williams: \_\_\_\_ Baker: \_\_\_\_ Edens: \_\_\_\_ Marshburn: \_\_\_\_ McClammy: \_\_\_\_ Nalee: \_\_\_\_

**1. Election of Officers: (Chairman and Vice-Chairman)**

**2. Adoption of the Agenda:**

**3. Adoption of Minutes: (January 8, 2013)**

**4. Public Comment:**

*\*(Public Hearings Open)\**

**5. Master Development Plan:**

Signature Pender County NC, LP, applicant, on behalf of Donald Wayne Batson, owner, is requesting the approval of a master development plan for a major subdivision. The request consists of developing 45 single family residential lots on approximately ±23.14 acres. The proposed project is located along the north side of Sloop Point Loop Road (SR 1563), south of Doral Drive (SR 1693) (across from North Topsail Elementary School) in Hampstead. The property is zoned RP, Residential Performance District and may be identified as Pender County PIN: 4214-10-2345-0000.

*\*(Public Hearings Closed)\**

**6. Discussion Items:**

**a. Planning Staff:**

**b. Planning Board Members:**

**7. Adjournment:**

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**PLANNING STAFF REPORT  
MASTER DEVELOPMENT PLAN  
THE FARMS at SLOOP POINT**

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**SUMMARY:**

**Hearing Date:** February 5, 2013  
**Applicant:** Signature Pender County NC, LP  
**Property Owner:** Donald Wayne Batson  
**Case Number:** MDP 10851

**Development Proposal:** The applicant is requesting approval of a Master Development Plan for The Farms at Sloop Point, a 45 lot single family Major Subdivision.

**Location and Land Use:** There is one (1) tract associated with this request totaling approximately ±23.14 acres, which was utilized as agricultural land. The proposed project is located along the north side of Sloop Point Loop Road (SR 1563), south of Doral Drive (SR 1593), in Hampstead (across from North Topsail Elementary School). The property may be identified by PIN 4214-10-2345-0000.

**Zoning District of Property:** The property is zoned RP, Residential Performance district.

**Staff Recommendation:** Planning Staff recommends conditional approval based on Master Development Plan items being met, and consideration of the Technical Review Committee (TRC) and Planning Board comments.

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**Description of Proposal:**

The Farms at Sloop Point is requesting approval of Master Development Plan (MDP) for a 45 lot (single family residential) Major Subdivision submitted by Signature Pender County NC, LP, applicant, on behalf of the owner, Donald W. Batson.

The applicant is proposing a total of 45 residential lots on the site with the total acreage being ±23.14 acres. Currently 1.35 acres of open space are provided in this proposal with 0.63 to be dedicated as passive open space and 0.72 acres to be dedicated as active open space, which meets the open space requirements set forth in Section 7.6.1 C of the Pender County Unified Development Ordinance. Additionally, the development will be required to provide one (1) recreational unit as referenced in Section 7.6.2, Recreational Units.

Dwelling Units	Recreational Unit(s)	Financial Unit
34-99	1.0	\$10,000

Recreational facilities shall be in a configuration and location that is easily accessible to the dwelling units that they are designed to serve and may be placed within active or passive open space required areas. Recreational units are assigned a financial unit to be achieved via installation on the subject property or through a payment in lieu of in conjunction with the approved Pender County Parks & Recreation Master Plan. The timing of the installation or payment in lieu of installation shall be confirmed on the master plan.

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connectivity for future development; however the NC DOT will require the construction of a temporary cul-de-sac.

Based on the Unified Development Ordinance, Section 7.2.6, Lots on Thoroughfares, Section 7.2.7, Lots on Collector Streets, and the Coastal Pender Collector Street Plan (Figure 4.1), Sloop Point Loop Road has been shown as a Reclassified Collector Street which does not allow access for individual residential lots.

This Master Plan Development is located within the jurisdictional boundary of the Wilmington Metropolitan Planning Organization (WMPO). According to the WMPO, the road design as proposed, does not meet the NC DOT Minimum Construction Standard in order to be accepted into the NC State maintenance system. The NC DOT has not had ample time to review the complexity of 40 foot right-of-way. According to the District 3 Office of the NC DOT, the right-way-widths may have to be increase to 50 feet.

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All applicable state and federal agency permits including a Stormwater Management Permit, Sediment and Erosion Control Plan, wetlands impact permits, and NCDOT Driveway Permit will be required prior to the approval of the Preliminary Plat.

#### **TECHNICAL REVIEW COMMITTEE (TRC) RESPONSES:**

##### **Cape Fear Council of Governments RPO**

*The applicant should contact DOT concerning a driveway permit and other features DOT may require.*

##### **Four County Electric Company**

*No response*

##### **NC DENR Division of Coastal Management**

*It looks like this would be outside of our AEC's, if so, no comment. But if by some chance, if there are tidal and/or navigable (including by canoe or kayak allowing for reasonable portage), then the project would require a CAMA review through the major permit process.*

##### **NC DENR Division of Forestry**

*No response*

##### **NC DENR Division of Land Resources**

*No response*

##### **NC DENR Division of Waste Management**

*No response*

##### **NC DENR Division of Water Quality**

*The DWQ has no objection to the project, but they may also need to get a 401 from the DWQ if impacts go over the 0.1 acre threshold. Of course the wetlands will need to be identified first.*

##### **NC DOT Division of Highways**

*Driveway permit will be required. If roads are to be added to the state maintained system plans should be submitted for review.*

**NC DOT Transportation Planning Branch**

*No response*

**NC Office of State Archaeology**

*No response*

**NC Wildlife Resources Commission**

*No response*

**Pender County Addressing Coordinator**

*The applicant will need to come up with alternate names for J E Batson Lane and Sweet Corn Court. The bodies of those names have already been taken.*

**Pender County Building Inspections**

*No response*

**Pender County Emergency Management**

*No response*

**Pender County Environmental Health**

*EH highly suggests that the applicant contact a consultant/soil scientist to find septic areas for each lot and submit proposals to PCEH.*

**Pender County Fire Marshal**

*No response*

**Pender County Parks and Recreation**

*Potential connections for PED/Bike connection to Hampstead Kiwanis Park and North Topsail Elementary School.*

**Pender County Public Library**

*No response*

**Pender County Public Utilities**

*Contact PCU for the submittal requirements for a Waterline Extension.*

**Pender County Schools**

*PC Schools have concerns about traffic. How do they propose to control the traffic? Is it possible that DOT provide input? It appears that a new lane may be necessary on the development side.*

**Pender County Sheriff's Department**

*No response*

**Pender County Soil and Water Conservation District**

*Soil & Water sees no problem as long as all NCDENR has passed all their requirements & permits*

**Progress Energy Corporation**

*No response*

**US Army Corps of Engineers**

*US ACE has a Jurisdictional Determination request pending for this site. At this time the wetlands and waters of the US shown on the map have not been verified by the Corps of Engineers.*

## **Wilmington Metropolitan Planning Organization**

The WMPO has reviewed the application for *The Farms at Sloop Point, a Master Development Plan*, (application case number 10851) and have the following comments:

1. The subdivision roads are listed as Public Right of Way, however, the plan does not meet minimum NCDOT Construction Standards for Subdivision Roads, for Strawberry Lane, a Residential Collector Street, J.E. Batson Lane, a Local Residential Road and Sweet Corn Court, a Residential Cul-De-Sac.
2. Strawberry Fields Lane, the Residential Collector Road that connects the subdivision with Sloop Point Rd, has a 40 ft. ROW. According to NCDOT Subdivision Roads Minimum Construction Standards, Residential Collector streets must have a minimum 50 Ft public ROW.
3. Residential Collector Roads with a width less than 26 ft., which connect to an existing State Maintained Road, must have a 50 ft. minimum taper. Strawberry Fields Lane does not have the required 50 ft. taper from its intersection with Sloop Point Loop Rd.
4. JE Batson Lane, a Local Residential Road, does not meet the minimum requirements for Curb and Gutter sections, of 26 ft. G-G width, as specified within NCDOT Subdivision Roads Minimum Construction Standards.
5. Sweet Corn Court, a Residential Cul-De-Sac, does not meet the minimum Right of Way Radius for the Curb and Gutter Section of the Cul-De-Sac. The plan calls for 40 ft. Right of Way Radius for the Curb and gutter section, however, the NCDOT minimum should be 45 ft.
6. NCDOT Subdivision Roads Minimum Construction Standards require a 6 ft. utility setback behind curb and gutter sections without sidewalk. The plan does not give the dimensions for Fire Hydrant placement behind the curb line.

## **Evaluation**

### **A) Existing Zoning in Area:**

The property is located within an RP, Residential Performance District. The Residential Performance District is intended to allow a variety of residential uses and densities and also limited commercial activities as well as agritourism. Existing or new agricultural and farm uses shall be allowed on undeveloped land prior to development.

The properties to the north and south are zoned as RP, Residential Performance. The properties immediately west of the subject property are zoned as PD, Planned Development. The property to the west is zoned O&I, Office and Institutional, and a property zoned RP, Residential Performance to the Northwest.

### **B) Existing Land Use in Area:**

The properties immediately north, east, south, and northwest of the site include low density residential uses and vacant tracts of land. The property to the west is North Topsail Elementary School.

### **D) 2010 Comprehensive Land Use Plan:**

1. Mixed Use: The Mixed Use land use classification designates locations where a mixture of higher density/intensity uses is to be encouraged. Mixed Use areas should be characterized by physically and aesthetically unified developments containing a mixture of commercial, office, institutional, and high- and medium-density residential uses, arranged in a walkable, compact, pedestrian and transit friendly manner.
2. Supporting Comprehensive Plan Policies and Goals:
  - a. **Growth Management Goal 1A.1** Manage the physical growth and development of Pender County by promoting more intensive land uses in key locations identified for such growth while preserving and protecting the unique physical character and social assets of the predominant rural lifestyle and coastal environment that makes the County a unique place to live.

#### **i. Policy 1A.1.2**

Encourage development in areas where the necessary infrastructure – roads, water, sewer, and schools - are available, planned or can be most cost effectively provided and extended to serve existing and future development

- b. **Transportation Goal 2B.1** Manage the timing, location and intensity of growth by coordinating transportation improvements in accordance with the Comprehensive Land Use Plan and the Coastal Pender Collector Street Plan.

- i. **Policy 2B.1.4**

- Adopt regulations that require new developments and individual sites throughout the County to provide vehicular and pedestrian interconnectivity to existing or planned adjacent sites and adjoining developments.

- ii. **Policy 2B.1.9**

- As recommended in the Coastal Pender Collector Street Plan, all new streets that have the potential to connect to adjacent developments should be constructed to NCDOT secondary road standards and accepted for public maintenance to ensure future connectivity.

**E) Summary & Staff Recommendation:** Planning staff recommends conditional approval based on Master Development Plan items being met, consideration of the Technical Review Committee (TRC) and Planning Board comments.

Board Action for Master Plan Review:

**Motion:** \_\_\_\_\_ **Seconded** \_\_\_\_\_

**Approved:** \_\_\_\_\_ **Denied:** \_\_\_\_\_ **Unanimous** \_\_\_\_\_

Boney: \_\_\_ Williams: \_\_\_ Baker: \_\_\_ Edens: \_\_\_ Marshburn: \_\_\_ McClammy: \_\_\_ Nalee: \_\_\_

# GSP CONSULTING

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December 21, 2012

Pender County  
Planning and Community Development  
805 S. Walker Street  
Burgaw, NC 28425

Re: The Farms at Sloop Point  
Project Narrative

Dear Ms. Frank:

This project is located off and has direct access to Sloop Point Loop Road (SR 1563) in Hampstead, Pender County, North Carolina. This project will be developed as a 45 lot single family subdivision that will contain Public NCDOT subdivision roads serving all the lots as well as a Public waterline extension. Sewer for this project will be treated by the use of septic systems with drain fields on each lot. The primary stormwater measures for this site will be a closed conduit system and overland sheet flow that will direct the runoff to a proposed wet detention basin that will be designed to control the peak runoff from the 10-year storm event and will be analyzed for the 100-year storm event to prevent flooding of the proposed development. This project will require approvals from the USACOE for onsite wetlands, DENR-Public Water Supply Section for the water line extension, NCDOT for the driveway connection to SR 1563 and the subdivision streets & NCDENR-Division of Water Quality for the stormwater system. The traffic impacts to adjacent properties will be minimal based on the site generating approximately 431 total daily trips with 34 in the AM peak hour and 45 in the PM peak hour based on the ITE Trip Generation Manual 8<sup>th</sup> edition using ITE Code 210 for single family homes.

Please contact me immediately at (910) 442-7870 or [gpape@gsp-consulting.com](mailto:gpape@gsp-consulting.com) if you have any questions or require additional information.

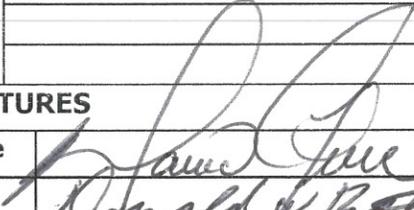
Sincerely,

**GSP CONSULTING, PLLC.**



Garry S. Pape, P.E.

## APPLICATION FOR MASTER DEVELOPMENT PLAN

THIS SECTION FOR OFFICE USE			
Application No.	MDP 10851	Date	12/21/2012
Application Fee	\$ 500.00	Receipt No.	122259
Pre-Application Conference	6.8.2012	Hearing Date	2.5.2013
<b>SECTION 1: APPLICANT INFORMATION</b>			
Applicant's Name:	Signature Pender County NC, LP	Owner's Name:	Donal Wayne Batson
Applicant's Address:	4307 Peeble Drive	Owner's Address:	981 Sloop Point Loop Road
City, State, & Zip	Wilmington, NC 28402	City, State, & Zip	Hampstead, NC 28443
Phone Number:	913-822-3891	Phone Number:	
Legal relationship of applicant to land owner:			
<b>SECTION 2: PROJECT INFORMATION</b>			
Type of Master Development Plan	<input checked="" type="checkbox"/> Residential <i>RP, PD, RM MH District</i>	<input type="checkbox"/> Commercial <i>GB, OI, IT, GI District</i>	<input type="checkbox"/> Mixed Use <i>PD</i>
Property Identification Number (PIN):	4214-10-2345-0000	Total property acreage:	23.14
Zoning Classification:	Residential	Acreage to be disturbed:	22.62
Project Address :	Sloop Point Loop Road, Hampstead, NC 28443		
Description of Project Location:	Project is across Sloop Point Loop Road from Topsail Elementary School		
Describe activities to be undertaken on project site:	Project is for the development of 45 single family lots and related site appurtenances		
<b>SECTION 3: SIGNATURES</b>			
Applicant's Signature		Date:	12/21/2012
Owner's Signature		Date:	12.19.12

### NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda

### Office Use Only

<input checked="" type="checkbox"/>	<b>MDP Fees:</b> (\$500.00 plus \$10/acre for the first 100 acres \$5/acre thereafter)	<b>Total Fee Calculation:</b> \$ 500.00
<b>Attachments Included with Application: (Please include # of copies)</b>		
<input checked="" type="checkbox"/> CD other digital version	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets 18
		# of large 2
		# of 11X17 18
		Other documents/Reports <input type="checkbox"/> Y <input type="checkbox"/> N
<b>Payment Method:</b>	<b>Cash:</b> <input type="checkbox"/> \$ _____	<b>Credit Card:</b> <input type="checkbox"/> Master Card <input type="checkbox"/> Visa
		<b>Check:</b> <input checked="" type="checkbox"/> Check # 5617
Application received by:		Date: 12/21/2012
Application completeness approved by:		Date:
Date scheduled for public hearing:		

### MASTER DEVELOPMENT PLAN CHECKLIST

<input checked="" type="checkbox"/>	Signed Application Form (Both Applicant and Owner)
<input checked="" type="checkbox"/>	Application fee
	Legible list of all property owners adjacent to the property upon which the use is to be located. The list shall include the mailing address & physical address of these property owners (The application will not be advertised for public hearing until the list is accurate & complete)
	One business size envelope legibly addressed with first class postage for each of the adjacent property owners on the above list.
	<b>Project Narrative--Written description of the project (max of 3 pages) including the following:</b> <ul style="list-style-type: none"> <li><input type="checkbox"/> Location of the project and type of access to project site</li> <li><input type="checkbox"/> Detailed description of the activities to be undertaken on the site, including hrs. of operation, # of employees, etc.</li> <li><input type="checkbox"/> Description of all construction activities to be undertaken on the site</li> <li><input type="checkbox"/> Describe type of utilities that will serve project and status of approval from applicable providers</li> <li><input type="checkbox"/> List of all state and federal permits that will be required for the project</li> <li><input type="checkbox"/> Describe any potential impacts the project will have on the community or adjacent properties such as traffic, noise, etc. and explain efforts to mitigate these impacts (<b>this item must be addressed by the applicant</b>). The applicant may also wish to describe any positive benefits the project will provide for the community &amp;/or neighbors of the project.</li> </ul>

### Master Development Plan Contents

**All** MDP's shall be prepared in accordance with the following specifications:

	The scale shall be one inch equals 100 feet or larger (the ratio of feet to inches shall be no more than one hundred feet to one inch) or at a scale acceptable to the Director. The scale shall be sufficient so that all features are discernible.
	No sheet shall be smaller than 24"x36" in size unless approved by the Administrator. If the MDP is prepared on more than one sheet, match lines shall clearly indicate where the sheets join.
	North arrow, a scale of 1:100 or larger and a legend describing all symbols.
	A boundary survey of the entire property related to true meridian & certified by a registered surveyor with all dimensions in ft & decimals of ft. A vicinity map at a suitable scale shall be provided showing the location of the project along with the location of all existing or approved public roads, streets or rights-of-way within 2,000 ft of the boundaries of the project.
	The total area of the property shall be specified.
	The topography shall be shown at 2 foot contour intervals.
	The title of the proposed project; the date, month, year the plan was prepared or revised; the name of the applicant(s), owner(s) and contract owner(s); and the names of the individuals or firms preparing the plan shall be clearly specified.
	A schedule of phases, with the approximate location of phase boundaries & the order in which the phases are to be developed, shall be provided.
	The use of all adjoining properties by zoning, parcel identification number (PIN) and current property owner(s).



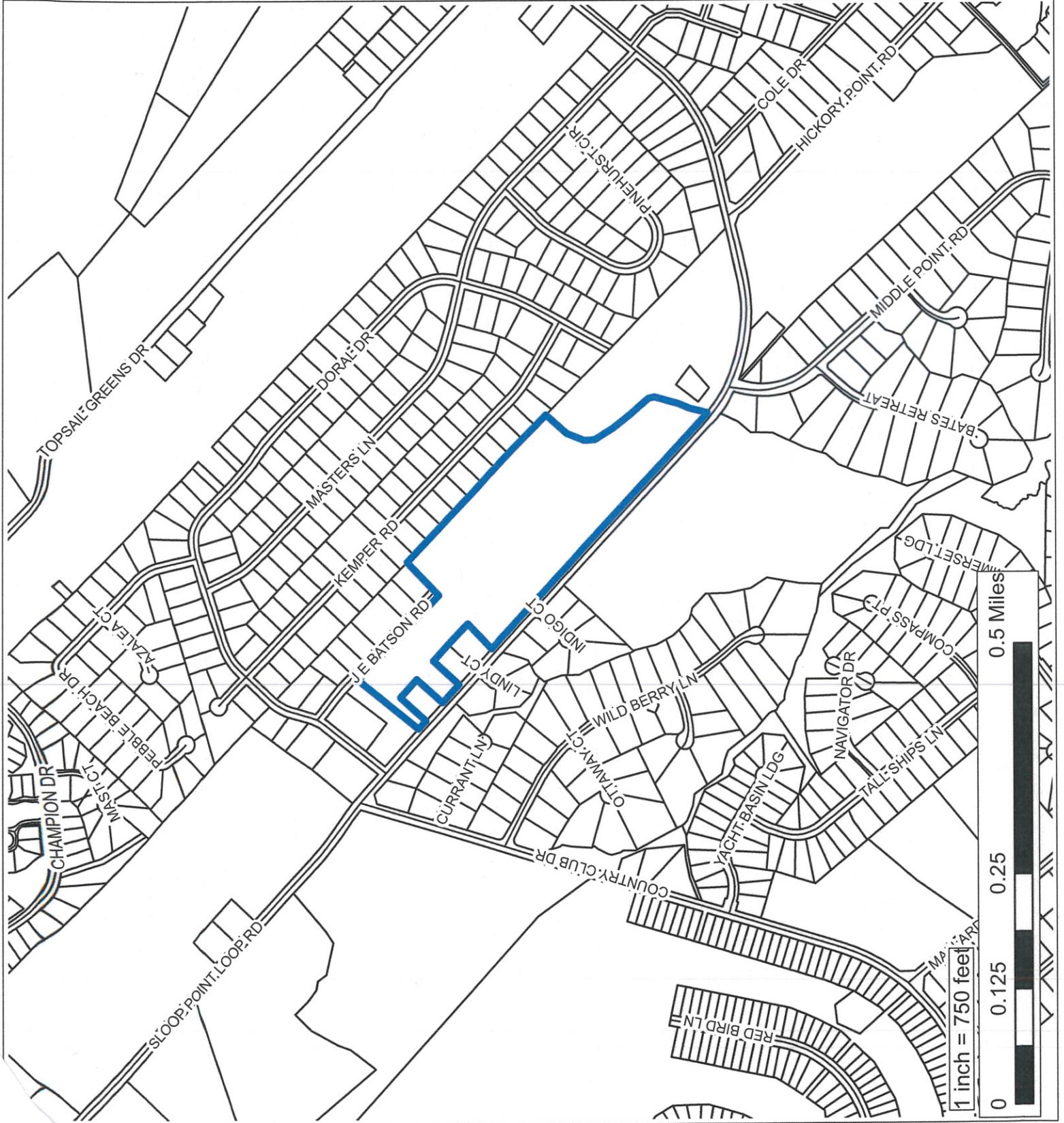
**Applicant:**  
Signature  
Pender County NC, LP

**Owner:**  
Donald W. Batson

**Master Development Plan**  
# 10851



**VICINITY**





**Applicant:**  
Signature  
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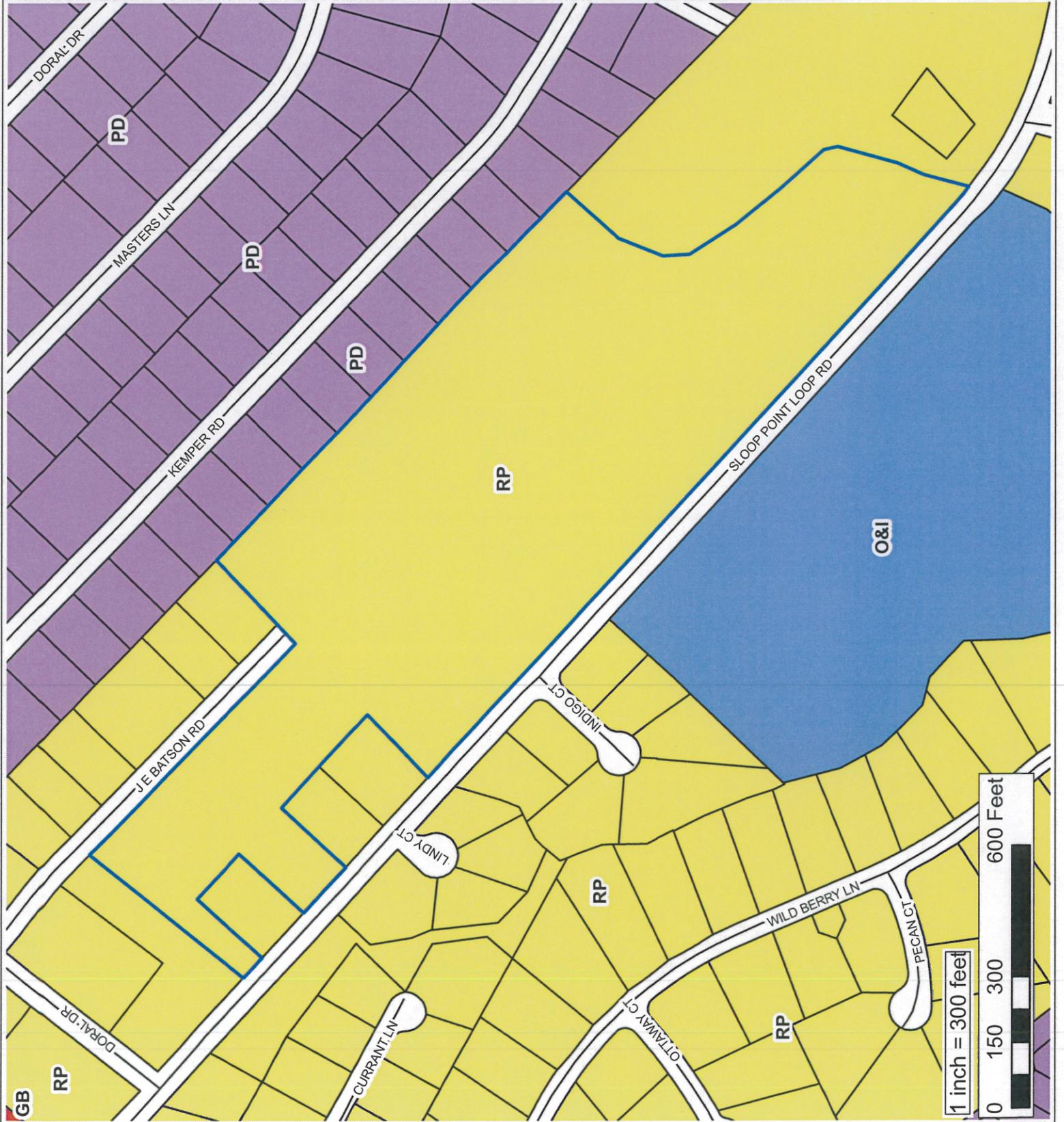
**Master Development Plan  
# 10851**

**Legend**

-  Subject Parcel
- Zoning Classification**
- UDO Zoning**
  -  General Business (GB)
  -  General Industrial (GI)
  -  Industrial Transition (IT)
  -  Office & Institutional (OI)
  -  Rural Agricultural (RA)
  -  Planned Development (PD)
  -  Residential Performance (RP)
  -  Environmental Conservation (EC)
  -  Incorporated Areas (INCCORP)
  -  Manufactured Home Park (MH)
  -  Residential Mixed (MF)



**ZONING**





**Applicant:**  
Signature  
Pender County NC, LP

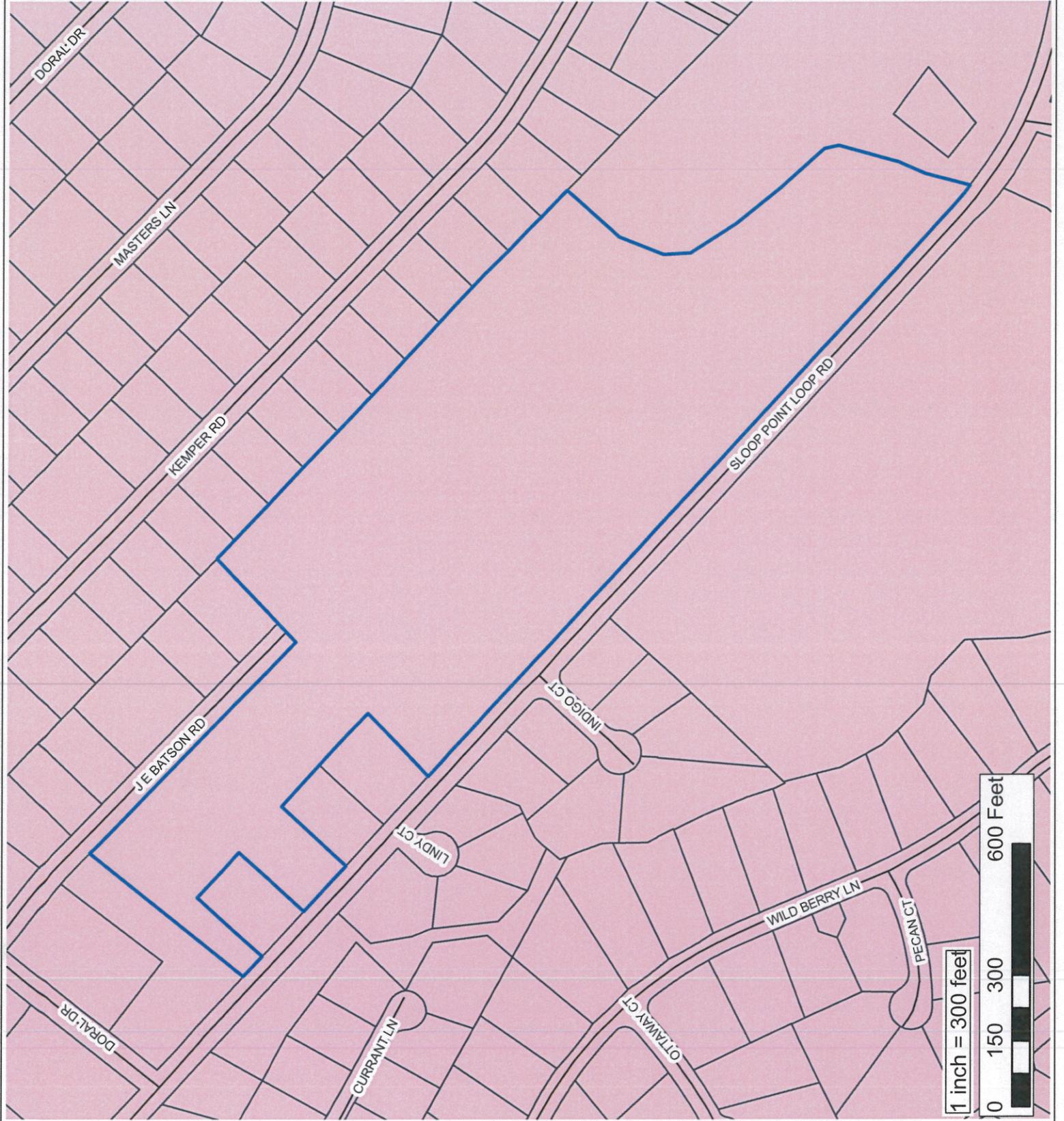
**Owner:**  
Donald W. Watson

**Master Development Plan**  
# 10851

- 2010 Land Use Classification**
- Conservation
  - Industrial
  - Mixed Use
  - Office, Institutional, Business
  - Rural Growth
  - Suburban Growth



**LAND USE**  
**CLASSIFICATION**





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Signature  
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**Master Development Plan**  
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**2010 AERIAL**



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##### **Four County Electric Company**

*No response*

##### **NC DENR Division of Coastal Management**

*It looks like this would be outside of our AEC's, if so, no comment. But if by some chance, if there are tidal and/or navigable (including by canoe or kayak allowing for reasonable portage), then the project would require a CAMA review through the major permit process.*

##### **NC DENR Division of Forestry**

*No response*

##### **NC DENR Division of Land Resources**

*No response*

##### **NC DENR Division of Waste Management**

*No response*

##### **NC DENR Division of Water Quality**

*The DWQ has no objection to the project, but they may also need to get a 401 from the DWQ if impacts go over the 0.1 acre threshold. Of course the wetlands will need to be identified first.*

##### **NC DOT Division of Highways**

*Driveway permit will be required. If roads are to be added to the state maintained system plans should be submitted for review.*

**NC DOT Transportation Planning Branch**

*No response*

**NC Office of State Archaeology**

*No response*

**NC Wildlife Resources Commission**

*No response*

**Pender County Addressing Coordinator**

*The applicant will need to come up with alternate names for J E Batson Lane and Sweet Corn Court. The bodies of those names have already been taken.*

**Pender County Building Inspections**

*No response*

**Pender County Emergency Management**

*No response*

**Pender County Environmental Health**

*EH highly suggests that the applicant contact a consultant/soil scientist to find septic areas for each lot and submit proposals to PCEH.*

**Pender County Fire Marshal**

*No response*

**Pender County Parks and Recreation**

*Potential connections for PED/Bike connection to Hampstead Kiwanis Park and North Topsail Elementary School.*

**Pender County Public Library**

*No response*

**Pender County Public Utilities**

*Contact PCU for the submittal requirements for a Waterline Extension.*

**Pender County Schools**

*PC Schools have concerns about traffic. How do they propose to control the traffic? Is it possible that DOT provide input? It appears that a new lane may be necessary on the development side.*

**Pender County Sheriff's Department**

*No response*

**Pender County Soil and Water Conservation District**

*Soil & Water sees no problem as long as all NCDENR has passed all their requirements & permits*

**Progress Energy Corporation**

*No response*

**US Army Corps of Engineers**

*US ACE has a Jurisdictional Determination request pending for this site. At this time the wetlands and waters of the US shown on the map have not been verified by the Corps of Engineers.*

## **Wilmington Metropolitan Planning Organization**

The WMPO has reviewed the application for *The Farms at Sloop Point, a Master Development Plan*, (application case number 10851) and have the following comments:

1. The subdivision roads are listed as Public Right of Way, however, the plan does not meet minimum NCDOT Construction Standards for Subdivision Roads, for Strawberry Lane, a Residential Collector Street, J.E. Batson Lane, a Local Residential Road and Sweet Corn Court, a Residential Cul-De-Sac.
2. Strawberry Fields Lane, the Residential Collector Road that connects the subdivision with Sloop Point Rd, has a 40 ft. ROW. According to NCDOT Subdivision Roads Minimum Construction Standards, Residential Collector streets must have a minimum 50 Ft public ROW.
3. Residential Collector Roads with a width less than 26 ft., which connect to an existing State Maintained Road, must have a 50 ft. minimum taper. Strawberry Fields Lane does not have the required 50 ft. taper from its intersection with Sloop Point Loop Rd.
4. JE Batson Lane, a Local Residential Road, does not meet the minimum requirements for Curb and Gutter sections, of 26 ft. G-G width, as specified within NCDOT Subdivision Roads Minimum Construction Standards.
5. Sweet Corn Court, a Residential Cul-De-Sac, does not meet the minimum Right of Way Radius for the Curb and Gutter Section of the Cul-De-Sac. The plan calls for 40 ft. Right of Way Radius for the Curb and gutter section, however, the NCDOT minimum should be 45 ft.
6. NCDOT Subdivision Roads Minimum Construction Standards require a 6 ft. utility setback behind curb and gutter sections without sidewalk. The plan does not give the dimensions for Fire Hydrant placement behind the curb line.

## **Evaluation**

### **A) Existing Zoning in Area:**

The property is located within an RP, Residential Performance District. The Residential Performance District is intended to allow a variety of residential uses and densities and also limited commercial activities as well as agritourism. Existing or new agricultural and farm uses shall be allowed on undeveloped land prior to development.

The properties to the north and south are zoned as RP, Residential Performance. The properties immediately west of the subject property are zoned as PD, Planned Development. The property to the west is zoned O&I, Office and Institutional, and a property zoned RP, Residential Performance to the Northwest.

### **B) Existing Land Use in Area:**

The properties immediately north, east, south, and northwest of the site include low density residential uses and vacant tracts of land. The property to the west is North Topsail Elementary School.

### **D) 2010 Comprehensive Land Use Plan:**

1. Mixed Use: The Mixed Use land use classification designates locations where a mixture of higher density/intensity uses is to be encouraged. Mixed Use areas should be characterized by physically and aesthetically unified developments containing a mixture of commercial, office, institutional, and high- and medium-density residential uses, arranged in a walkable, compact, pedestrian and transit friendly manner.
2. Supporting Comprehensive Plan Policies and Goals:
  - a. **Growth Management Goal 1A.1** Manage the physical growth and development of Pender County by promoting more intensive land uses in key locations identified for such growth while preserving and protecting the unique physical character and social assets of the predominant rural lifestyle and coastal environment that makes the County a unique place to live.

#### **i. Policy 1A.1.2**

Encourage development in areas where the necessary infrastructure – roads, water, sewer, and schools - are available, planned or can be most cost effectively provided and extended to serve existing and future development

- b. **Transportation Goal 2B.1** Manage the timing, location and intensity of growth by coordinating transportation improvements in accordance with the Comprehensive Land Use Plan and the Coastal Pender Collector Street Plan.

- i. **Policy 2B.1.4**

- Adopt regulations that require new developments and individual sites throughout the County to provide vehicular and pedestrian interconnectivity to existing or planned adjacent sites and adjoining developments.

- ii. **Policy 2B.1.9**

- As recommended in the Coastal Pender Collector Street Plan, all new streets that have the potential to connect to adjacent developments should be constructed to NCDOT secondary road standards and accepted for public maintenance to ensure future connectivity.

**E) Summary & Staff Recommendation:** Planning staff recommends conditional approval based on Master Development Plan items being met, consideration of the Technical Review Committee (TRC) and Planning Board comments.

Board Action for Master Plan Review:

**Motion:** \_\_\_\_\_ **Seconded** \_\_\_\_\_

**Approved:** \_\_\_\_\_ **Denied:** \_\_\_\_\_ **Unanimous** \_\_\_\_\_

Boney: \_\_\_ Williams: \_\_\_ Baker: \_\_\_ Edens: \_\_\_ Marshburn: \_\_\_ McClammy: \_\_\_ Nalee: \_\_\_

# GSP CONSULTING

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December 21, 2012

Pender County  
Planning and Community Development  
805 S. Walker Street  
Burgaw, NC 28425

Re: The Farms at Sloop Point  
Project Narrative

Dear Ms. Frank:

This project is located off and has direct access to Sloop Point Loop Road (SR 1563) in Hampstead, Pender County, North Carolina. This project will be developed as a 45 lot single family subdivision that will contain Public NCDOT subdivision roads serving all the lots as well as a Public waterline extension. Sewer for this project will be treated by the use of septic systems with drain fields on each lot. The primary stormwater measures for this site will be a closed conduit system and overland sheet flow that will direct the runoff to a proposed wet detention basin that will be designed to control the peak runoff from the 10-year storm event and will be analyzed for the 100-year storm event to prevent flooding of the proposed development. This project will require approvals from the USACOE for onsite wetlands, DENR-Public Water Supply Section for the water line extension, NCDOT for the driveway connection to SR 1563 and the subdivision streets & NCDENR-Division of Water Quality for the stormwater system. The traffic impacts to adjacent properties will be minimal based on the site generating approximately 431 total daily trips with 34 in the AM peak hour and 45 in the PM peak hour based on the ITE Trip Generation Manual 8<sup>th</sup> edition using ITE Code 210 for single family homes.

Please contact me immediately at (910) 442-7870 or [gpape@gsp-consulting.com](mailto:gpape@gsp-consulting.com) if you have any questions or require additional information.

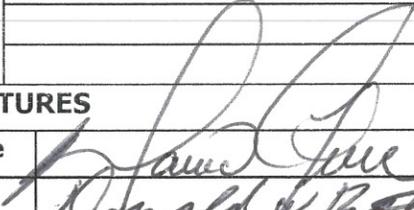
Sincerely,

**GSP CONSULTING, PLLC.**



Garry S. Pape, P.E.

## APPLICATION FOR MASTER DEVELOPMENT PLAN

THIS SECTION FOR OFFICE USE			
Application No.	MDP 10851	Date	12/21/2012
Application Fee	\$ 500.00	Receipt No.	122259
Pre-Application Conference	6.8.2012	Hearing Date	2.5.2013
<b>SECTION 1: APPLICANT INFORMATION</b>			
Applicant's Name:	Signature Pender County NC, LP	Owner's Name:	Donal Wayne Batson
Applicant's Address:	4307 Peeble Drive	Owner's Address:	981 Sloop Point Loop Road
City, State, & Zip	Wilmington, NC 28402	City, State, & Zip	Hampstead, NC 28443
Phone Number:	913-822-3891	Phone Number:	
Legal relationship of applicant to land owner:			
<b>SECTION 2: PROJECT INFORMATION</b>			
Type of Master Development Plan	<input checked="" type="checkbox"/> Residential <i>RP, PD, RM MH District</i>	<input type="checkbox"/> Commercial <i>GB, OI, IT, GI District</i>	<input type="checkbox"/> Mixed Use <i>PD</i>
Property Identification Number (PIN):	4214-10-2345-0000	Total property acreage:	23.14
Zoning Classification:	Residential	Acreage to be disturbed:	22.62
Project Address :	Sloop Point Loop Road, Hampstead, NC 28443		
Description of Project Location:	Project is across Sloop Point Loop Road from Topsail Elementary School		
Describe activities to be undertaken on project site:	Project is for the development of 45 single family lots and related site appurtenances		
<b>SECTION 3: SIGNATURES</b>			
Applicant's Signature		Date:	12/21/2012
Owner's Signature		Date:	12.19.12

### NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda

### Office Use Only

<input checked="" type="checkbox"/>	<b>MDP Fees:</b> (\$500.00 plus \$10/acre for the first 100 acres \$5/acre thereafter)	<b>Total Fee Calculation:</b> \$ 500.00
<b>Attachments Included with Application: (Please include # of copies)</b>		
<input checked="" type="checkbox"/> CD other digital version	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets 18
		# of large 2
		# of 11X17 18
		Other documents/Reports <input type="checkbox"/> Y <input type="checkbox"/> N
<b>Payment Method:</b>		<b>Check:</b>
<b>Cash :</b>	<input type="checkbox"/> \$ _____	<input checked="" type="checkbox"/> Check # 5617
	<b>Credit Card:</b>	
	<input type="checkbox"/> Master Card	
	<input type="checkbox"/> Visa	
Application received by:		Date: 12/21/2012
Application completeness approved by:		Date:
Date scheduled for public hearing:		

### MASTER DEVELOPMENT PLAN CHECKLIST

<input checked="" type="checkbox"/>	Signed Application Form (Both Applicant and Owner)
<input checked="" type="checkbox"/>	Application fee
	Legible list of all property owners adjacent to the property upon which the use is to be located. The list shall include the mailing address & physical address of these property owners (The application will not be advertised for public hearing until the list is accurate & complete)
	One business size envelope legibly addressed with first class postage for each of the adjacent property owners on the above list.
	<b>Project Narrative--Written description of the project (max of 3 pages) including the following:</b> <ul style="list-style-type: none"> <li><input type="checkbox"/> Location of the project and type of access to project site</li> <li><input type="checkbox"/> Detailed description of the activities to be undertaken on the site, including hrs. of operation, # of employees, etc.</li> <li><input type="checkbox"/> Description of all construction activities to be undertaken on the site</li> <li><input type="checkbox"/> Describe type of utilities that will serve project and status of approval from applicable providers</li> <li><input type="checkbox"/> List of all state and federal permits that will be required for the project</li> <li><input type="checkbox"/> Describe any potential impacts the project will have on the community or adjacent properties such as traffic, noise, etc. and explain efforts to mitigate these impacts (<b>this item must be addressed by the applicant</b>). The applicant may also wish to describe any positive benefits the project will provide for the community &amp;/or neighbors of the project.</li> </ul>

### Master Development Plan Contents

**All** MDP's shall be prepared in accordance with the following specifications:

	The scale shall be one inch equals 100 feet or larger (the ratio of feet to inches shall be no more than one hundred feet to one inch) or at a scale acceptable to the Director. The scale shall be sufficient so that all features are discernible.
	No sheet shall be smaller than 24"x36" in size unless approved by the Administrator. If the MDP is prepared on more than one sheet, match lines shall clearly indicate where the sheets join.
	North arrow, a scale of 1:100 or larger and a legend describing all symbols.
	A boundary survey of the entire property related to true meridian & certified by a registered surveyor with all dimensions in ft & decimals of ft. A vicinity map at a suitable scale shall be provided showing the location of the project along with the location of all existing or approved public roads, streets or rights-of-way within 2,000 ft of the boundaries of the project.
	The total area of the property shall be specified.
	The topography shall be shown at 2 foot contour intervals.
	The title of the proposed project; the date, month, year the plan was prepared or revised; the name of the applicant(s), owner(s) and contract owner(s); and the names of the individuals or firms preparing the plan shall be clearly specified.
	A schedule of phases, with the approximate location of phase boundaries & the order in which the phases are to be developed, shall be provided.
	The use of all adjoining properties by zoning, parcel identification number (PIN) and current property owner(s).



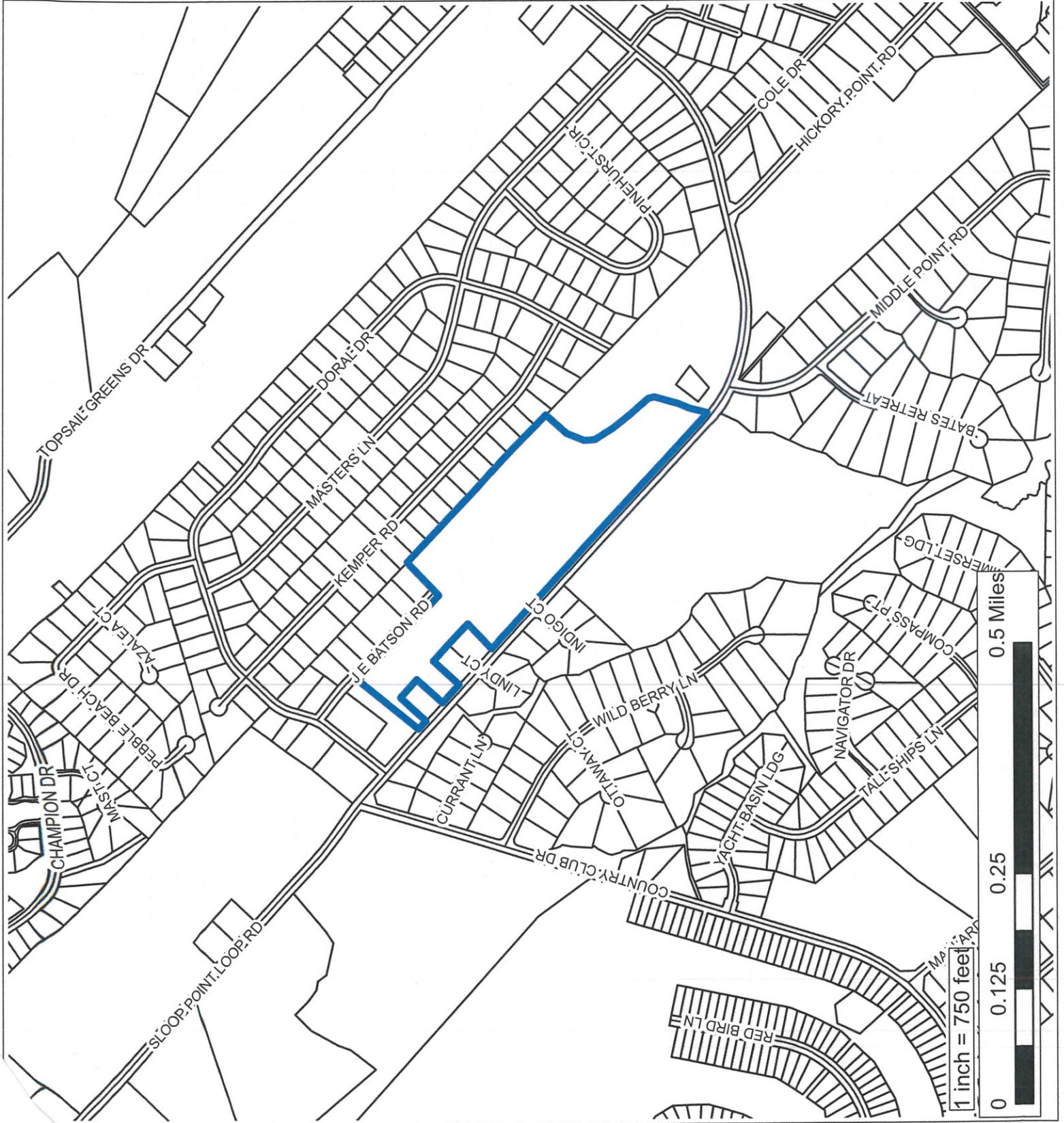
**Applicant:**  
Signature  
Pender County NC, LP

**Owner:**  
Donald W. Batson

**Master Development Plan**  
# 10851



**VICINITY**





**Applicant:**  
Signature  
Pender County NC, LP

**Owner:**  
Donald W. Batson

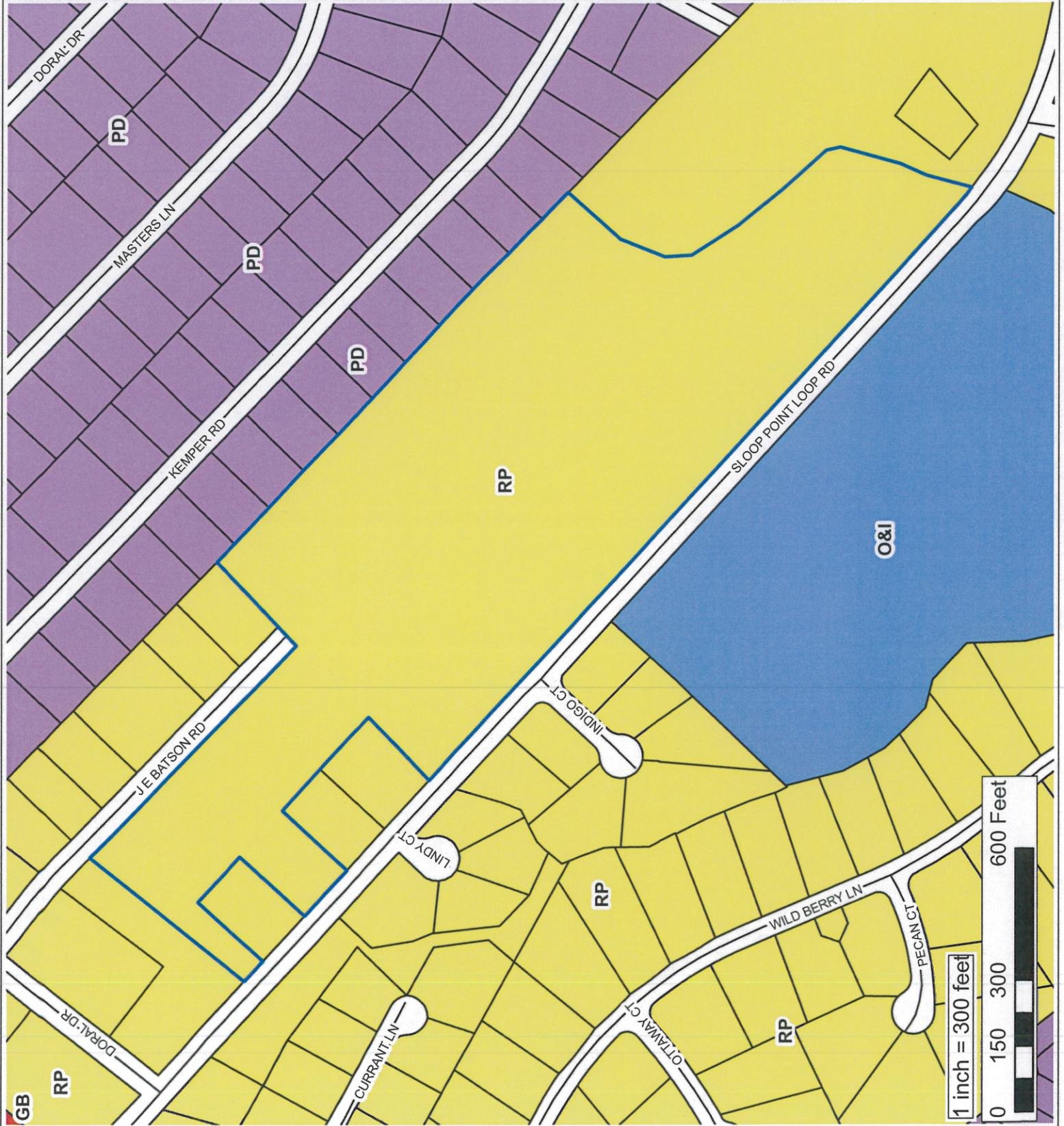
**Master Development Plan  
# 10851**

**Legend**

- Subject Parcel
- Zoning Classification**
- UDO Zoning**
- General Business (GB)
- General Industrial (GI)
- Industrial Transition (IT)
- Office & Institutional (OI)
- Rural Agricultural (RA)
- Planned Development (PD)
- Residential Performance (RP)
- Environmental Conservation (EC)
- Incorporated Areas (INCP)
- Manufactured Home Park (MH)
- Residential Mixed (MF)



**ZONING**





**Applicant:**  
Signature  
Pender County NC, LP

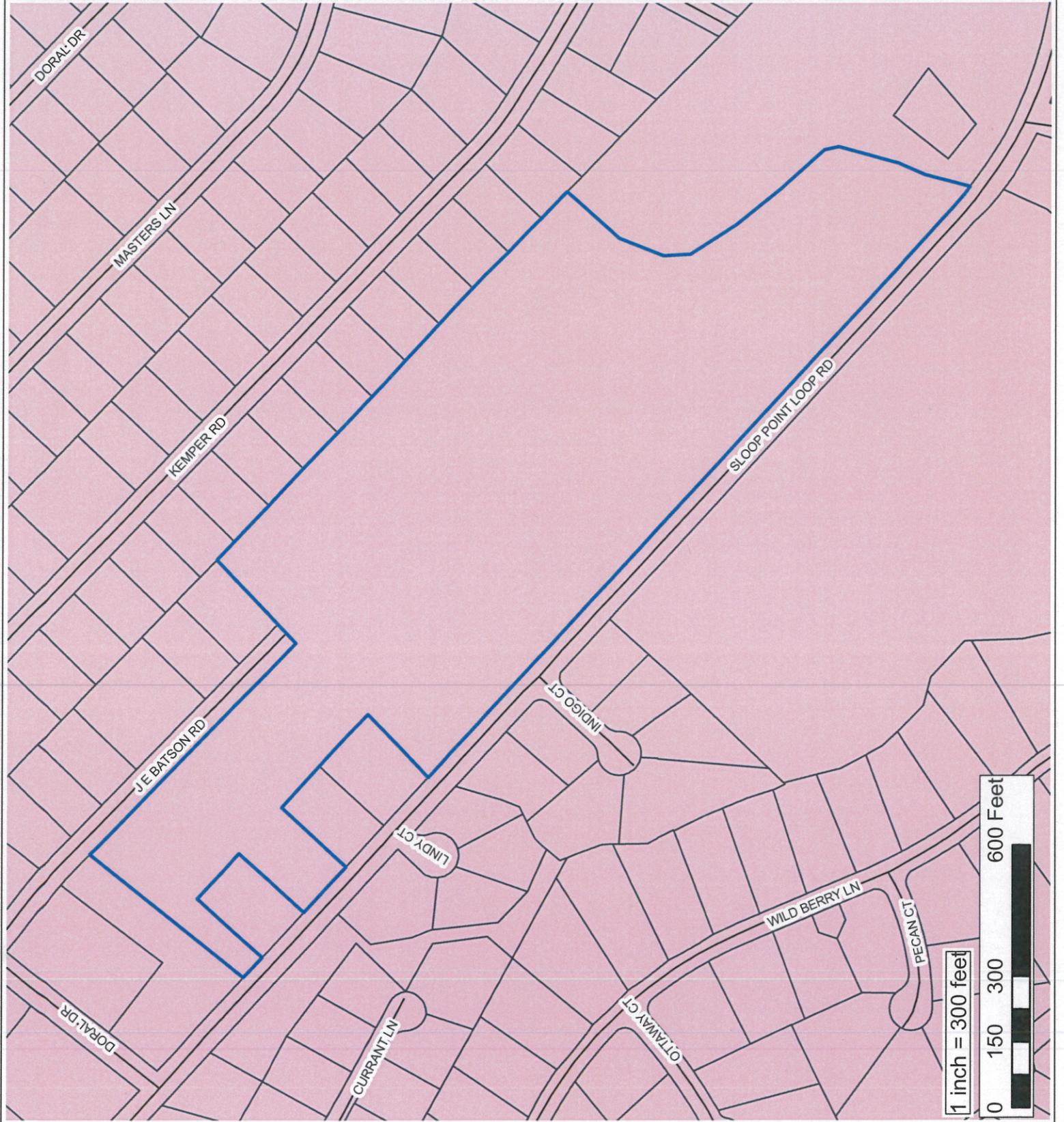
**Owner:**  
Donald W. Watson

**Master Development Plan**  
# 10851

- 2010 Land Use Classification**
- Conservation
  - Industrial
  - Mixed Use
  - Office, Institutional, Business
  - Rural Growth
  - Suburban Growth



**LAND USE**  
**CLASSIFICATION**





**Applicant:**  
Signature  
Pender County NC, LP

**Owner:**  
Donald W. Batson

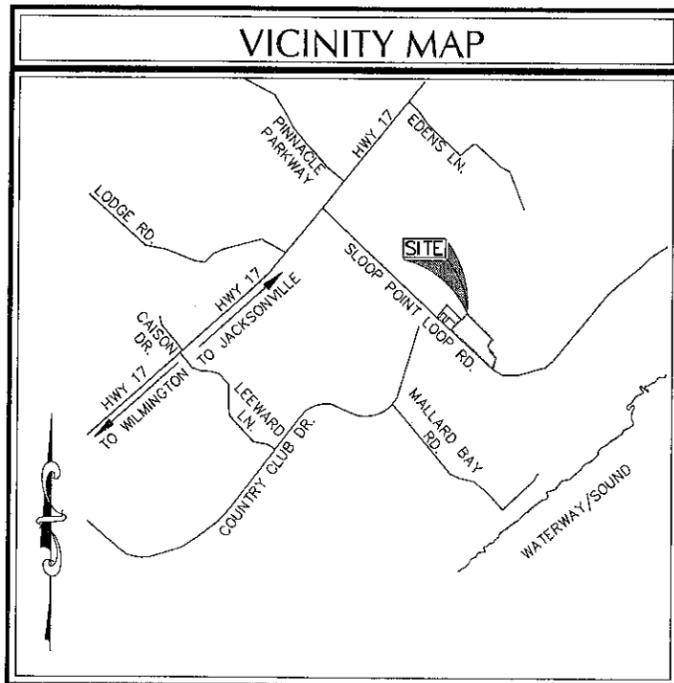
**Master Development Plan**  
# 10851



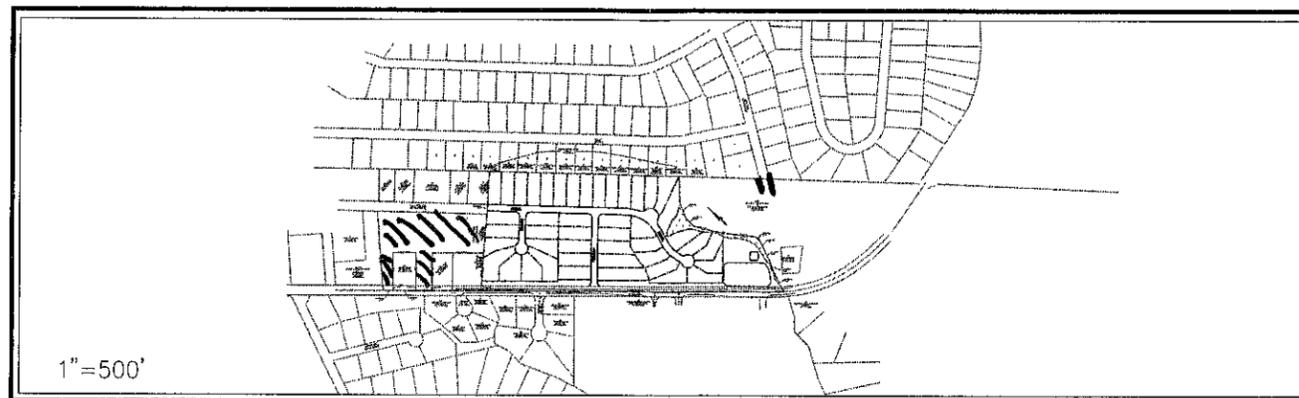
**2010 AERIAL**



# MASTER DEVELOPMENT PLAN FOR THE FARMS AT SLOOP POINT PENDER COUNTY, NORTH CAROLINA DECEMBER 2012



VICINITY MAP  
(NTS)



1" = 500'

DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL	---	---
5' CONTOUR INTERVAL	---	---
PROPERTY LINE	---	---
ROADWAY CENTERLINE	---	---
RIGHT OF WAY LIMITS	---	---
EASEMENT LINE	---	---
CURB & GUTTER	---	---
SANITARY SEWER FACILITIES	---	---
STORM SEWER FACILITIES	---	---
WATERLINE	---	---
FIRE HYDRANT ASSEMBLY	---	---
WATERWAYS	---	N/A
<b>PROPOSED</b>		
PROPOSED LOT AND S.F.	x 5,000 s.f.	---
OPEN SPACE LABEL	⊙	---
OPEN SPACE	▨	---
BUILDING SET BACKS	---	---
PRIVATE SANITARY SET BACKS	---	---
	STREET SIGN	---
	404 WETLANDS	---
	FLOW DIRECTION	---

**DEVELOPER/OWNER**

Signature Pender County NC, LP.  
4307 Peeble Drive  
WILMINGTON, NC 28402  
PHONE: (713) 822-3891

**PREPARED BY:**

**GSP CONSULTING, PLLC**  
**ENGINEERING**  
6626 Gordon Road, Unit C, Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659 License # P-0718

CERTIFICATE OF PRELIMINARY PLAT APPROVAL  
APPROVED BY PENDER COUNTY UNIFIED DEVELOPMENT ADMINISTRATOR  
SITE PLAN VALID FOR A PERIOD OF TWO (2) YEARS FROM APPROVAL DATE:

ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

INDEX OF SHEETS	
SHT C-0	COVER SHEET
SHT C-1	GENERAL NOTES
SHT C-2	EXISTING CONDITIONS PLAN
SHT C-3	SITE PLAN
SHT C-4	UTILITY PLAN
SHT C-5	OVERALL STORMWATER PLAN

SITE DATA TABLE	
<b>GENERAL NOTES:</b>	
1.	PENDER COUNTY PARCEL NO.: PIN 4214-10-2345-0000
2.	TOTAL TRACT AREA: 1,007,791 SF = 23.14 AC±
3.	ZONING: RESIDENTIAL (RP)
4.	LAND CLASSIFICATION: VACANT/UNDEVELOPED
5.	THIS PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #3720421400J, EFFECTIVE DATE 2/16/2007 AND FLOOD INSURANCE RATE MAP #3720421300J, EFFECTIVE DATE 2/16/2007.
6.	THIS PROPERTY DOES NOT CONTAIN ANY A.E.C. AREAS OR IS UNDER CAMA JURISDICTION.
7.	THIS PROPERTY DOES CONTAIN 404 FEDERAL WETLANDS WHICH HAVE BEEN APPROVED BY THE USACE.
<b>GENERAL NOTES:</b>	
1.	TOTAL SINGLE FAMILY LOTS: 45 OWNERSHIP REFERENCE: D.B. 3272 P.G 62-63 PLAT # 44 PG. 149
2.	PROPERTY IS LOCATED IN PENDER COUNTY AND IS ZONED RESIDENTIAL
3.	A HOME OWNERS ASSOCIATION WILL BE FORMED TO GUARANTEE CONTINUAL MAINTENANCE OF THE COMMON AREAS AND OPEN SPACE.
4.	ALL INTERIOR ROADWAYS ARE TO BE BUILT TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS.
5.	ALL INTERIOR ROADWAYS ARE PUBLIC AND SHALL BE DEDICATED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
6.	A HOME OWNERS ASSOCIATION WILL BE FORMED PRIOR TO THE SALE OF ANY LOTS AND MEMBERSHIP WILL BE AUTOMATIC UPON PURCHASE.
7.	THIS MASTER PLAN IS CONCEPTUAL AND IS SUBJECT TO CHANGE IN ACCORDANCE WITH THE PROVISIONS OF PENDER COUNTY DEVELOPMENT ORDINANCE.
8.	THE DEVELOPERS HAVE THE SOLE RIGHT TO MODIFY THIS MASTER PLAN IN ACCORDANCE WITH MARKET CONDITIONS OR OTHER CONDITIONS WHICH INDICATE A CHANGE IS DESIRED OR REQUIRED. ANY AND ALL CHANGES MUST BE REVIEWED BY THE PLANNING DEPARTMENT AND IN SOME INSTANCES MAY REQUIRE PLANNING BOARD OR COUNTY COMMISSIONERS APPROVAL.
9.	BUFFERS WILL BE PROVIDED PER CURRENT PENDER COUNTY ZONING ORDINANCE.
10.	ALL LOTS WIDTHS WILL BE A MINIMUM OF EIGHTY (80) FEET.
11.	ALL LOTS WHICH FRONT CUL-DE-SACS SHALL HAVE A MINIMUM CHORD LENGTH AT ROW OF THIRTY FOOT (30') MINIMUM.
12.	WETLANDS IMPACTED WILL BE MITIGATED IN ACCORDANCE WITH ANY REQUIREMENTS OF APPLICABLE STATE AND FEDERAL PERMITS.
13.	ALL LOTS SHALL MEET CURRENT PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE & SUBDIVISION REGULATIONS.
14.	ALL PROPOSED OPENSAPCE/RECREATION AREAS ARE NON-BUILDABLE FOR ANY TYPE OF DEVELOPMENT.
<b>MINIMUM LOT DIMENSIONS:</b>	
AREA IN (S.F.)	15,000 SF
MIN USABLE LOT AREA (%)	95%
MIN LOT WIDTH (FT)	80'
MIN CHORD AT ROW (CUL-DE-SAC)	30'
MAX BLDG. HT. (FT)	35'
<b>PROPOSED BUILDING SETBACKS:</b>	
FRONT	30'
REAR	25'
SIDE	10'
CORNER	20'
ANY PERIPHERAL PROPERTY LINE STRUCTURES - AS PER NORTH CAROLINA STATE BUILDING CODE	
<b>REQUIRED OPEN SPACE:</b>	
45 LOTS * 0.03 AC/LOT	= 1.35 AC±
<b>PROVIDED OPEN SPACE:</b>	
0.63 AC± WETLANDS	
0.72 AC± RECREATIONAL SPACE	
1.35 AC± TOTAL OPEN SPACE PROVIDED	
NOTE: PROPOSED OPENSAPCE/RECREATION SPACE AREAS ARE NOT FOR BUILDING OR STRUCTURAL DEVELOPMENT	
<b>DEVELOPMENT DATA:</b>	
TOTAL TRACT AREA	= 1,007,791 SF = 23.14 AC
PROPOSED DENSITY	45 UNITS = 1.9 UNITS/AC
AVERAGE LOT SIZE	= 16,921 SF
AREA OF LOTS PROPOSED	= 761,456 SF = 17.46 AC±
AREA OF ROW PROPOSED	= 93,487 SF = 2.15 AC±
TOTAL PROPOSED ROAD LENGTH	= 2,050 L.F.±
<b>IMPERVIOUS SURFACES -</b>	
PROPOSED BUA	-
ROADS	= 63,456 S.F.
LOTS	= 180,000 S.F.
TOTAL	= 243,456 S.F. (24.2%)
<b>UTILITY DATA:</b>	
TOTAL	= 45 UNITS @ 360 GPD/UNIT = 16,200 GPD
<b>DEVELOPMENT NOTES:</b>	
1.	ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE.
2.	PROJECT SHALL COMPLY WITH ALL CITY, STATE & FEDERAL REGULATIONS.
<b>NOTE:</b>	
ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE & THE STATE OF NORTH CAROLINA	



**COORDINATION NOTES**

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL WORK IS TO BE IN ACCORDANCE WITH PENDER COUNTY AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO OBTAIN THE NECESSARY EASEMENT TO THE NATURE OF PROPOSED WORK, AND TO FELLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

**GENERAL NOTES:**

1. EXISTING TOPOGRAPHY, BOUNDARY AND UTILITIES, HAVE BEEN PREPARED BY FIELD SURVEYS BY ATLANTIC COAST SURVEY, PLLC (F-0922) AND OTHER AVAILABLE INFORMATION.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. CONTRACTOR SHALL REMOVE ASPHALT, AGGREGATE BASE COURSE, AND CONCRETE CURB & GUTTER WITHIN LIMITS OF DEMOLITION AS SHOWN ON PLAN.

**DEMOLITION NOTES**

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

**EROSION AND SEDIMENT CONTROL NOTES**

**GENERAL NOTES:**

1. CLEAR AND REMOVE FROM SITE ALL TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN DESIGNATED CLEARING LIMITS.
2. PLANT GRASS OVER ALL GRADED AREAS AS SHOWN IN THE TABLE ON THIS SHEET OF CEASE OF ANY GRADING ACTIVITY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES.
4. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY THE NCDENR DIVISION OF LAND QUALITY.
5. WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED AND PLANTED AREAS UNTIL FINAL APPROVAL BY THE NCDENR DIVISION OF LAND QUALITY.
6. ANY BORROW MATERIAL BROUGHT ONTO SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.
7. ANY EXCESS MATERIAL REMOVED FROM SITE MUST BE SUBMITTED TO A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.

**MAINTENANCE PLAN**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FROM PRODUCE RAIN BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SALT FENCE STAKES WILL BE SPACED 5 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. INSPECT INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
5. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
6. INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER. PLACE THE SEDIMENT THAT IS REMOVED IN THE DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.  
  
IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS.  
  
IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE OFFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SHANK OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE OFFICE BEFORE REPOSITIONING THE SKIMMER.  
  
CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIPRAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.  
  
AFTER ALL SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL UNSTABLE SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS, AND STABILIZE PROPERLY.
7. INSPECT EXCESSIVE MATING AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT REPAIR IMMEDIATELY. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE MATTING. ANY AREAS OF THE MATTING THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED. IF EROSION OCCURS DUE TO IMPROPERLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED. MONITOR AND REPAIR THE MATTING AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.
7. INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. EVENT REPAIR IMMEDIATELY. GOOD CONTACT WITH THE GROUND MUST BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.  
  
REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.  
  
AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

**STABILIZATION NOTES**

1. ALL DISTURBED AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY AND SLOPES WITHIN 21 CALENDAR DAYS.

**PERMANENT SEEDING SCHEDULE - MIXTURE 50P**

SPECIES	RATE (LB/ACRE)
Centipede Grass	10-20

**Seeding Dates**

MARCH - JUNE

**Soil Amendments**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

**Mulch**

DO NOT MULCH.

**Maintenance**

FERTILIZE VERY SPARINGLY LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

**TEMPORARY SEEDING-LATE WINTER/EARLY SPRING**

**WINTER AND EARLY SPRING**

SPECIES	RATE (LB/ACRE)
Rye (GRAIN)	120
*ANNUAL LESPEDEZA (KORE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
*OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE.	

**SUMMER**

SPECIES	RATE (LB/ACRE)
GERMAN MILLET	40

**FALL**

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120

**Seeding dates**

COASTAL PLAIN -- DEC. 15 - APR. 15 - LATE WINTER AND EARLY SPRING  
APRIL 15 - AUG. 15 - SUMMER  
AUG. 15 - DEC. 30 - FALL

**Soil amendments**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**Mulch**

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**Maintenance**

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**GENERAL GRADING NOTES**

1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF SUCH UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF THE DITCHING OPERATION BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF THE TRENCHING OPERATIONS SO AS TO AVOID AND PREVENT DAMAGE TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING BUT NOT LIMITED TO REPAIRS AND LOSS SERVICE REVENUE. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE NCDOT.
4. ALL MATERIAL CLEARED AND GRUBBED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK, SUCH AS TREES, VEGETATION, FENCING, ETC., SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE OR BURNED IF PROPER PERMITS ARE RECEIVED.

**SITE NOTES**

1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BRUSH CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
9. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT "NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
11. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL CODES.
13. FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
14. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
16. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

**GENERAL STORM SEWER NOTES**

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENDER COUNTY AND THE STATE OF NORTH CAROLINA REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND MANUFACTURER SPECIFICATIONS.
3. ALL STORM SEWER PIPES ON PRIVATE PROPERTY TO BE HOPE ADS N-12 OR EQUIVALENT, UNLESS OTHERWISE SPECIFIED. ALL STORM SEWER PIPES LOCATED WITHIN THE PUBLIC ROW TO BE RCP CLASS III.
4. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

**GROUND STABILIZATION**

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)



No.	Revision	Date	By	Designer	Scale
				GSP	
				GSP	December 2012
				P-0718	2012-0019

**THE FARMS AT SLOOP POINT**

Topsail Township      Pender County      North Carolina

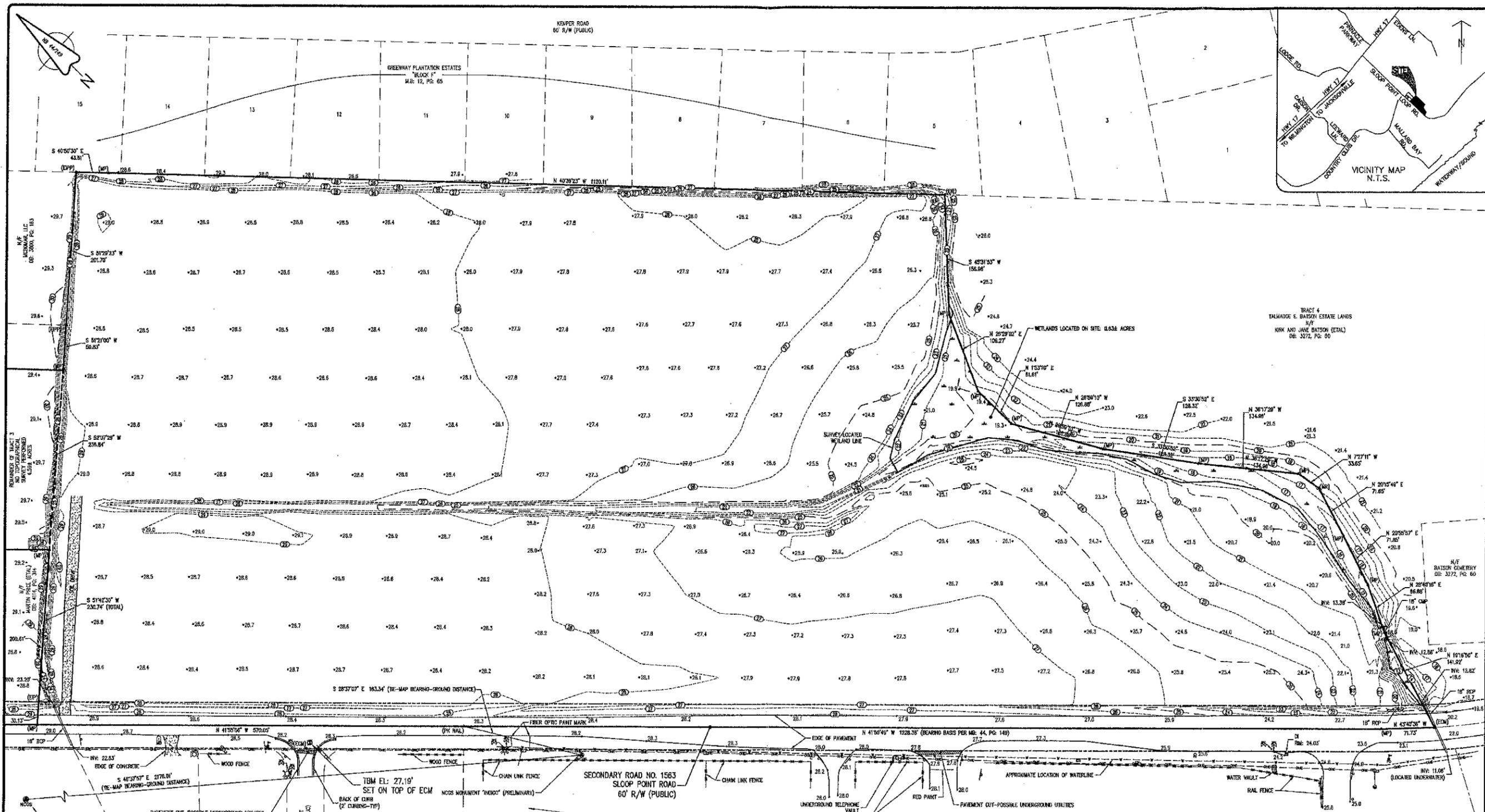
**GENERAL NOTES**

PREPARED FOR:  
SIGNATURE PENDER COUNTY NC, LP  
4307 PEEBLE DRIVE  
WILMINGTON, NC 28402  
713-022-3891

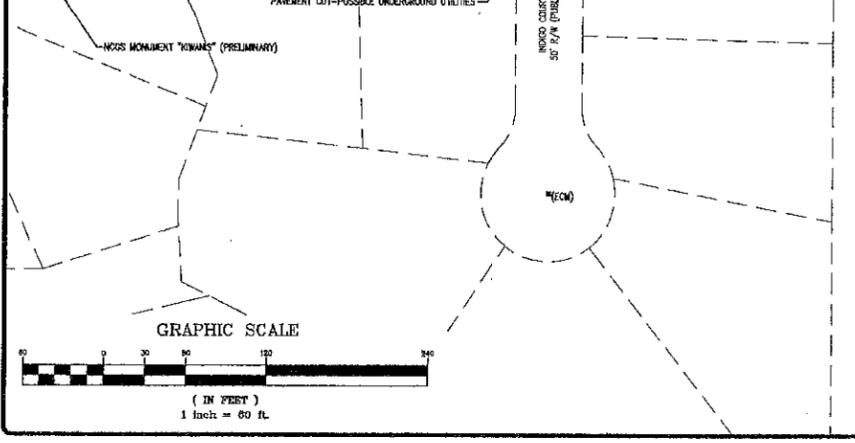
**GSP CONSULTING, PLLC**  
ENGINEERING

6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 919-442-7870 fax: 910-799-6659

Sheet No.  
**C-1**



Scale AS NOTED	1" = 60'
Date	11-29-12
Drawn By	WJD
Checked By	ACE
Sheet No.	C-2
Prepared For:	TALMADGE E. BATSON ESTATE LANDS TRACT 3
Map Book & Page:	MAP BOOK 44, PAGE 149
Location:	Proctor County, North Carolina
Job No.:	12-1062



**TOPOGRAPHY CERTIFICATION**

I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACCURATE FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON WITHIN THE AREAS SURVEYED AT THE TIME OF THIS SURVEY. THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (2008CPL0000)

*Miles G. Woodall*  
MILES G. WOODALL - PROFESSIONAL LAND SURVEYOR (1-3518)

*W. J. D.*  
W. J. D. - PROFESSIONAL LAND SURVEYOR (1-3518)

12-19-12

**GENERAL NOTES**

- THIS IS A TOPOGRAPHIC SURVEY.
- PROPERTY IS CURRENTLY ZONED: R1.
- BASES OF BEARINGS FOR THIS MAP ARE BASED ON MD. 44, PG. 149.
- VERTICAL DATUM FOR THIS MAP/PLAT ARE BASED ON NAVD 83.
- ALL DISTANCES ARE HORIZONTAL, GROUND DISTANCES UNLESS OTHERWISE NOTED.
- UNITS ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- AREA BY COORDINATE SEGMENT.
- NOSS GRID MONUMENTS FOUND WITHIN 2000' OF SITE (SEE MAP).
- THIS SURVEY WAS PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT, THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- FLOOD NOTE: AS DETERMINED BY GRAPHIC PLOTTING, THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #372642400A, EFFECTIVE DATE 2/19/2007 AND FLOOD INSURANCE RATE MAP #372642400A, EFFECTIVE DATE 2/16/2020.
- UTILITY STATEMENTS: THE UNDERGROUND UTILITIES SHOWN (IF ANY) HAVE BEEN LOCATED FROM COUNTY GIS INFORMATION, EXISTING DRAWINGS & FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- COUNTY TAX PIN #214-10-2345-0000
- TOTAL AREA FOR PORTION OF TRACT 3 IN WHICH A TOPOGRAPHIC SURVEY WAS PERFORMED: 24.421 ACRES.
- NET AREA (EXCLUDING RIGHT-OF-WAY): 23.144 ACRES.
- PORTION OF TRACT 3 IN WHICH NO TOPOGRAPHIC SURVEY WAS PERFORMED: 4.296 ACRES.
- MAP & DEED REFERENCES (PER PROCTOR COUNTY REGISTRY, DR. 3272, PG. 62, MD 44, PG. 149, (AND OTHERS THAT MAY BE SHOWN ON THIS MAP).
- NOSS "MIRRO" & "KAWANIS" ARE NEW AND NO DATA OR INFO HAS BEEN RELEASED BY NOSS AT DATE OF SURVEY.

**SYMBOL LEGEND:**

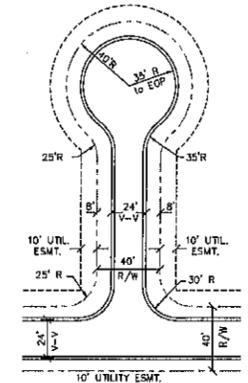
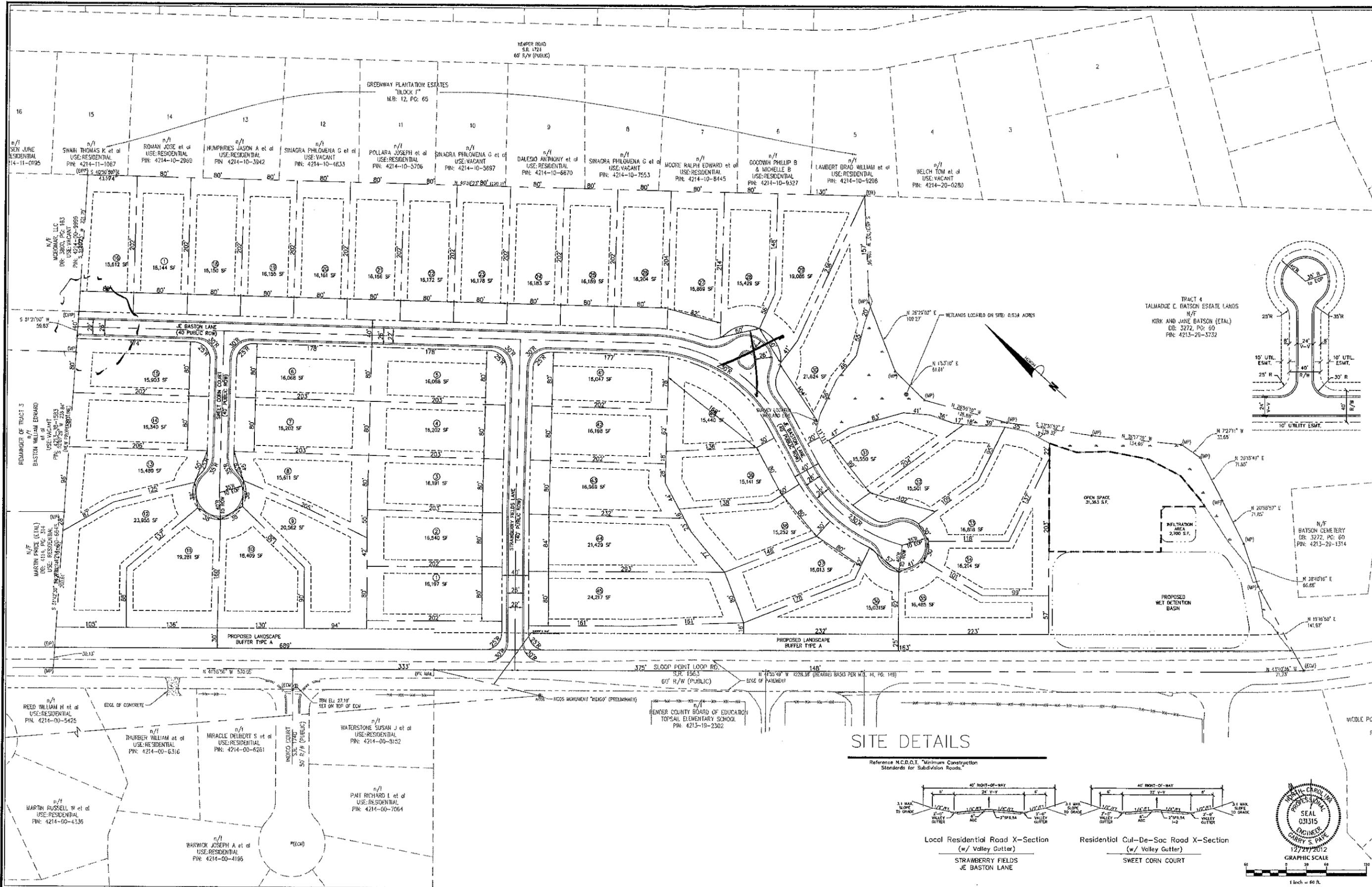
● EXISTING IRON PIPE / 1000	○ SENIOR CLEAN-OUT
■ REBAR SET	○ UTILITY POLE
■ EXISTING REBAR	○ GUY WIRE ANCHOR
■ EXISTING CONCRETE MONUMENT	△ ELECTRIC PEDIESTAL
▲ EXISTING RIGHT-OF-WAY MONUMENT	○ ELECTRIC METER
▲ MAP POINT	○ LIGHT / LIGHT POLE
▲ PK NAIL	○ ELECTRIC MANHOLE
● EXISTING NOSS MONUMENT	○ FIBER OPTIC MARKER
○ WATER METER	○ TELEPHONE PEDIESTAL
○ WATER VALVE	○ TELEPHONE MANHOLE / VAULT
○ FIRE HYDRANT	○ GAS METER
○ FIRE DEPARTMENT CONNECTION	○ GAS VALVE
○ IRRIGATION CONTROL VALVE	○ GAS MARKER
○ WATER MANHOLE	○ MAIL BOX
○ WELL (AS NOTED)	○ SIGN
○ AIR RELEASE VALVE	○ BOLLARD
○ BLOW-OFF VALVE	○ UTILITY MANHOLE
○ STORM DRAIN MANHOLE	○ BORE HOLE LOCATION
○ CATCH BASIN	○ FLAGGED END SECTION
○ DRIP / YARD BALET	○ SENIOR MANHOLE
○ SENIOR MANHOLE	○ 34.3 GROUND SHOT ELEVATION
○ FIBER OPTIC PEDIESTAL	

**LINE TYPE LEGEND:**

— SURVEYED LINES (BOUNDARY)
- - - LINES PER RECORD DATA
- · - LINES NOT SURVEYED (ADJACENTS)
- · - RIGHT-OF-WAY
- · - FENCE
- · - STORM PIPE
- · - OVERHEAD ELECTRIC
- · - MINOR CONTOUR WITH ELEVATION
- · - MAJOR CONTOUR WITH ELEVATION
- · - WATER LINE (APPROXIMATE LOCATION)

**ABBREVIATIONS:**

EP	EXISTING IRON PIPE	WHD	STORM DRAIN MANHOLE
ER	EXISTING IRON ROD	N/F	NOW OR FORMERLY
BS	REBAR SET	MB	MAP BOOK / CABINET
NOH	MONUMENT	DB	DEED BOOK
NOCS	NORTH CAROLINA OSCEOLA SURVEY	PG	PAGE
NOV	INVERT	BDG	BUILDING
ELEV	ELEVATION	EL	ELEVATION
MISS	SENIOR MANHOLE	[E]	EXISTING
RCP	REINFORCED CONCRETE PIPE	DIST.	INSTALLED

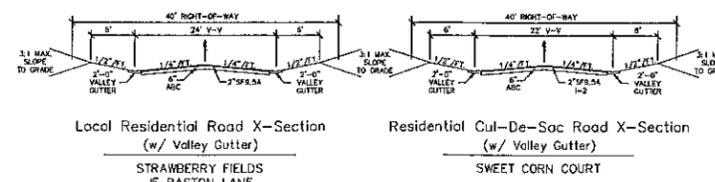


TRACT 4  
TALMADGE C. BATSON ESTATE LANDS  
N/F  
KIRK AND JANE BATSON (ETAL.)  
DB: 3272, PG: 60  
PIN: 4213-25-3732

N/F  
BATSON CEMETERY  
DB: 3272, PG: 60  
PIN: 4213-25-1314

### SITE DETAILS

Reference N.C.D.O.T. "Minimum Construction Standards for Subdivision Roads."



Professional Engineer Seal for **CHARRY S. PAPE**, License No. 03315, dated 12/21/2012. Includes a graphic scale of 1 inch = 60 feet.

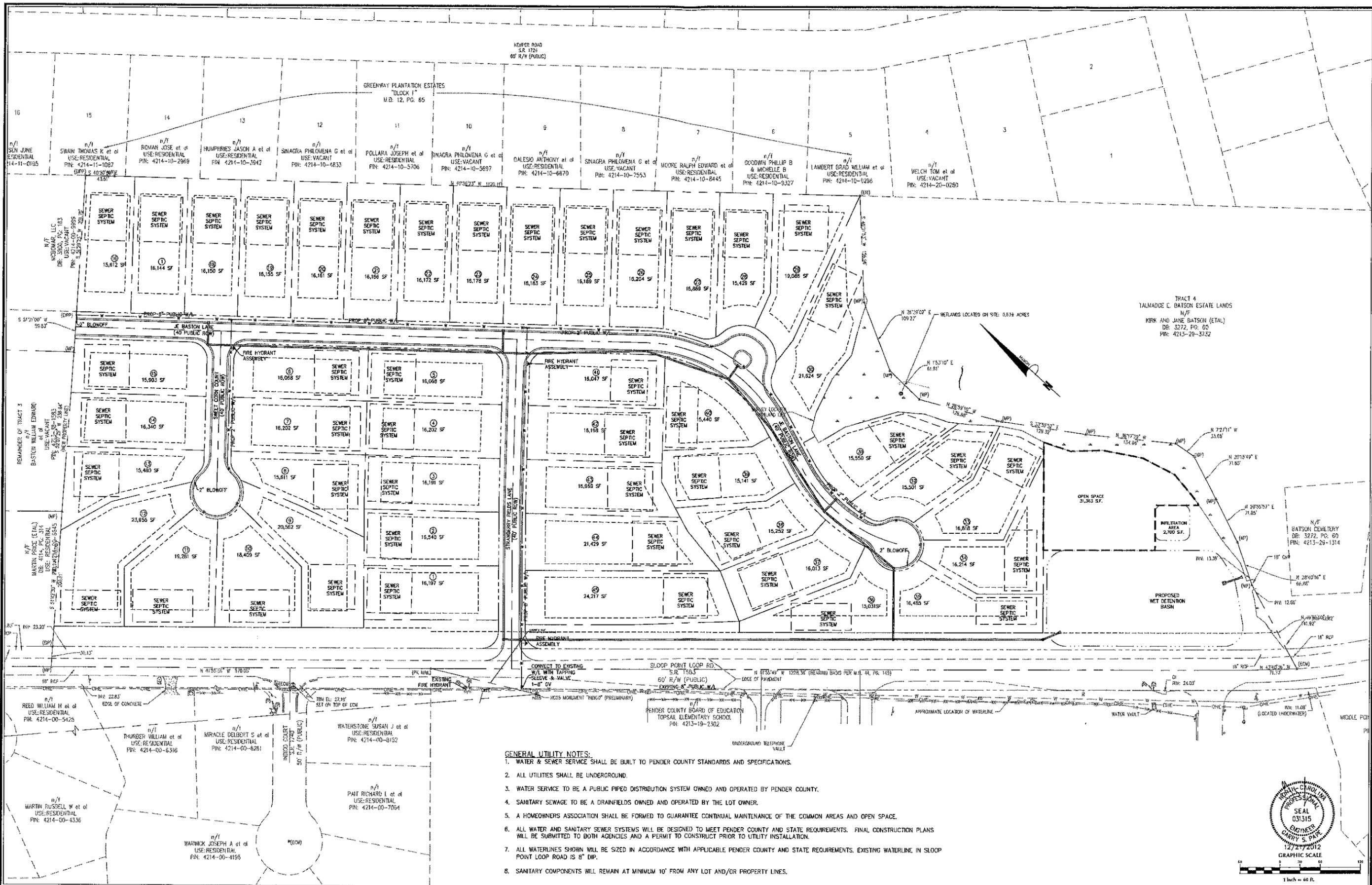
No.	Revision	Date	By	Designer	Scale
				GSP	1" = 60'
				GSP	December 2012
				P-0718	2012-0018

**THE FARMS AT SLOOP POINT**  
SITE PLAN  
Topsail Township Pender County North Carolina

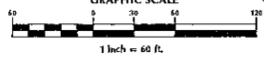
PREPARED FOR:  
SIGNATURE PENDER COUNTY NC, LP  
4307 PEEBLE DRIVE  
WILMINGTON, NC 28402  
713-822-3891

**GSP CONSULTING, PLLC**  
ENGINEERING  
6626 Gordon Road, Unit C, Wilmington, North Carolina 28411  
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Sheet No. **C-3**



- GENERAL UTILITY NOTES:**
1. WATER & SEWER SERVICE SHALL BE BUILT TO PENDER COUNTY STANDARDS AND SPECIFICATIONS.
  2. ALL UTILITIES SHALL BE UNDERGROUND.
  3. WATER SERVICE TO BE A PUBLIC PIPED DISTRIBUTION SYSTEM OWNED AND OPERATED BY PENDER COUNTY.
  4. SANITARY SEWAGE TO BE A DRAINFIELD OWNED AND OPERATED BY THE LOT OWNER.
  5. A HOMEOWNERS ASSOCIATION SHALL BE FORMED TO GUARANTEE CONTINUAL MAINTENANCE OF THE COMMON AREAS AND OPEN SPACE.
  6. ALL WATER AND SANITARY SEWER SYSTEMS WILL BE DESIGNED TO MEET PENDER COUNTY AND STATE REQUIREMENTS. FINAL CONSTRUCTION PLANS WILL BE SUBMITTED TO BOTH AGENCIES AND A PERMIT TO CONSTRUCT PRIOR TO UTILITY INSTALLATION.
  7. ALL WATERLINES SHOWN WILL BE SIZED IN ACCORDANCE WITH APPLICABLE PENDER COUNTY AND STATE REQUIREMENTS. EXISTING WATERLINE IN SLOOP POINT LOOP ROAD IS 8" DIP.
  8. SANITARY COMPONENTS WILL REMAIN AT MINIMUM 10' FROM ANY LOT AND/OR PROPERTY LINES.



No.	Revision	Date	By	Designer	Scale
				GSP	1" = 60'
		December 2012		GSP	
		2012-0018			

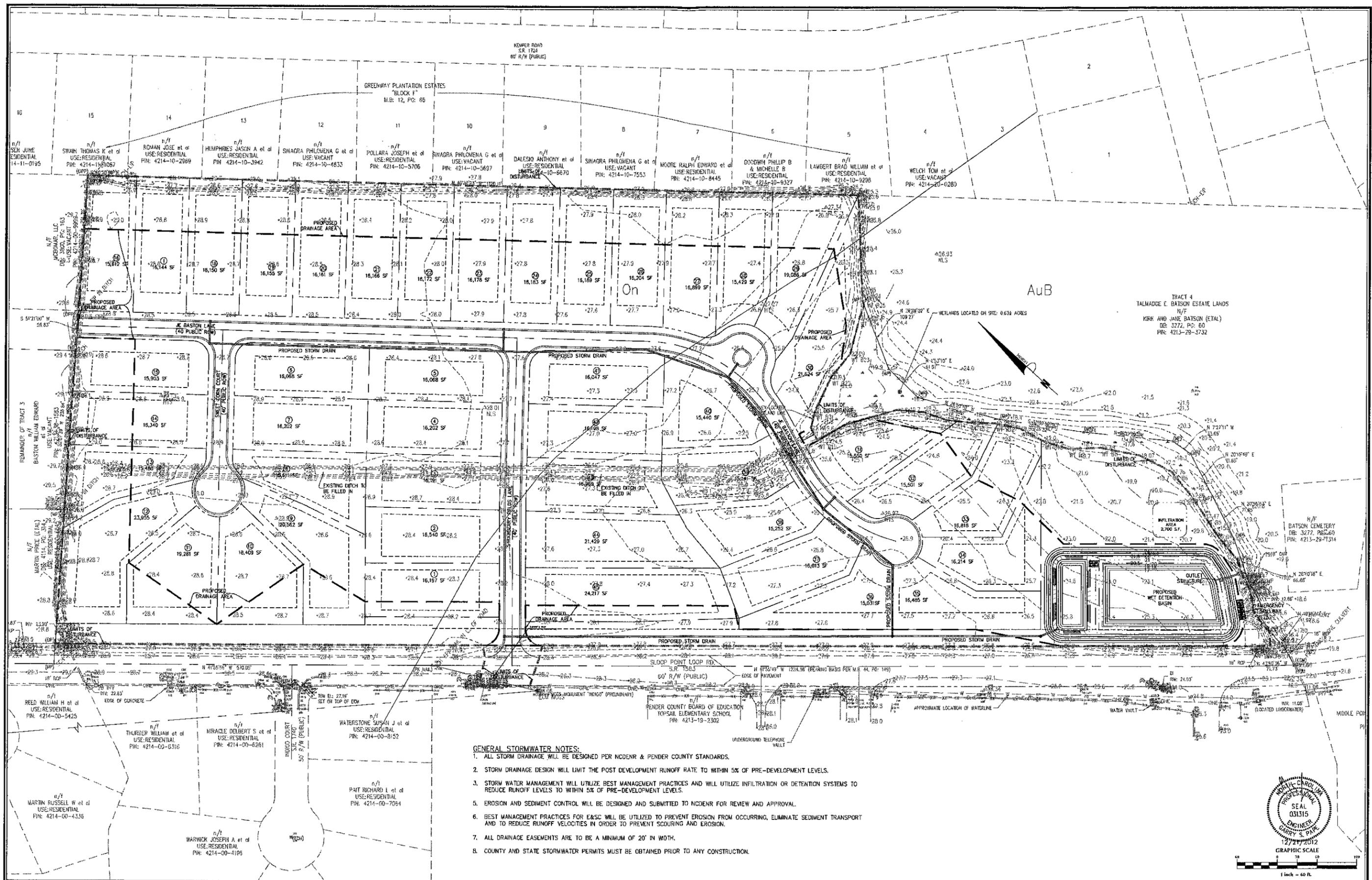
**THE FARMS AT SLOOP POINT**  
 Utility Plan  
 Topsail Township Pender County North Carolina

**UTILITY PLAN**

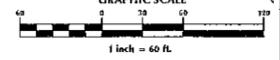
PREPARED FOR:  
 SIGNATURE PENDER COUNTY NC, LP  
 4307 PEEBLE DRIVE  
 WILMINGTON, NC 28402  
 713-822-3891

**GSP CONSULTING, PLLC**  
 ENGINEERING  
 6626 Gordon Road Unit C Wilmington, North Carolina 28411  
 Tel: 910-442-7870 Fax: 910-799-6659

Sheet No.  
**C-4**



- GENERAL STORMWATER NOTES:**
1. ALL STORM DRAINAGE WILL BE DESIGNED PER NCDENR & PENDER COUNTY STANDARDS.
  2. STORM DRAINAGE DESIGN WILL LIMIT THE POST DEVELOPMENT RUNOFF RATE TO WITHIN 5% OF PRE-DEVELOPMENT LEVELS.
  3. STORM WATER MANAGEMENT WILL UTILIZE BEST MANAGEMENT PRACTICES AND WILL UTILIZE INFILTRATION OR DETENTION SYSTEMS TO REDUCE RUNOFF LEVELS TO WITHIN 5% OF PRE-DEVELOPMENT LEVELS.
  4. EROSION AND SEDIMENT CONTROL WILL BE DESIGNED AND SUBMITTED TO NCDENR FOR REVIEW AND APPROVAL.
  5. BEST MANAGEMENT PRACTICES FOR E&SC WILL BE UTILIZED TO PREVENT EROSION FROM OCCURRING, ELIMINATE SEDIMENT TRANSPORT AND TO REDUCE RUNOFF VELOCITIES IN ORDER TO PREVENT SCOURING AND EROSION.
  6. ALL DRAINAGE EASEMENTS ARE TO BE A MINIMUM OF 20' IN WIDTH.
  7. COUNTY AND STATE STORMWATER PERMITS MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION.



No.	Revision	Date	By	Designer	Scale
1				CSP	1" = 60'
2				GSP	December 2012
3				P-0718	2012-0019

**THE FARMS AT SLOOP POINT**  
 Topsail Township Pender County North Carolina

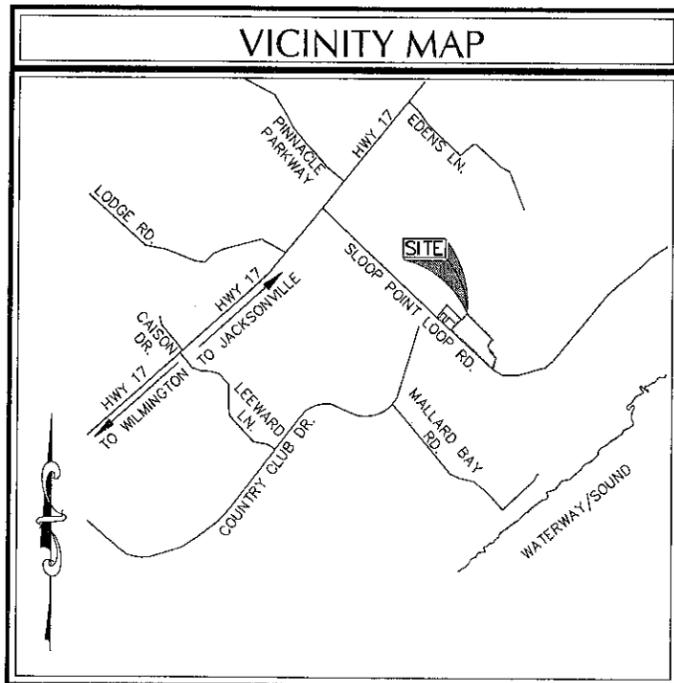
**STORMWATER MANAGEMENT PLAN**

PREPARED FOR:  
 SIGNATURE PENDER COUNTY NC, LP  
 4307 PEEBLE DRIVE  
 WILMINGTON, NC 28402  
 713-822-3891

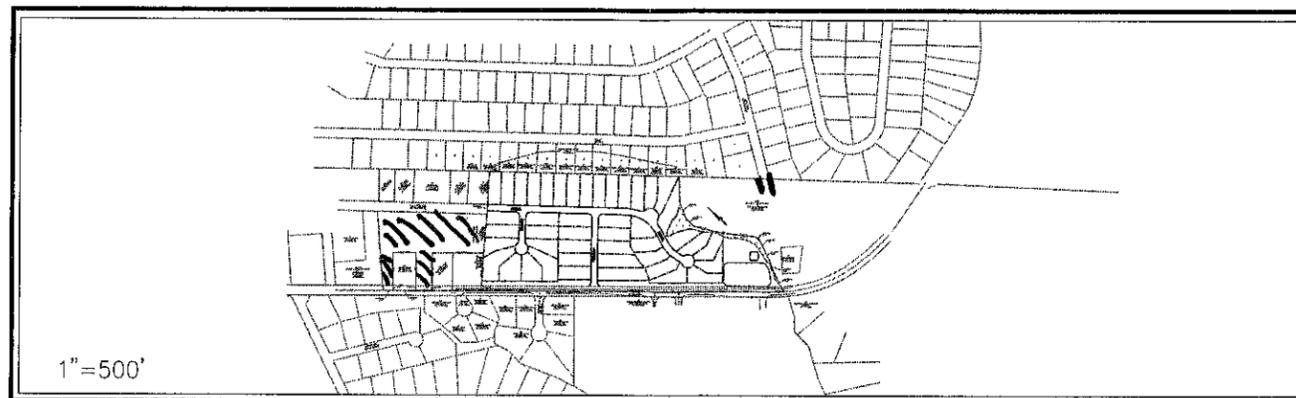
**GSP CONSULTING, PLLC**  
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Sheet No. **C-5**

# MASTER DEVELOPMENT PLAN FOR THE FARMS AT SLOOP POINT PENDER COUNTY, NORTH CAROLINA DECEMBER 2012



VICINITY MAP  
(NTS)



1" = 500'

DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL	---	---
5' CONTOUR INTERVAL	---	---
PROPERTY LINE	---	---
ROADWAY CENTERLINE	---	---
RIGHT OF WAY LIMITS	---	---
EASEMENT LINE	---	---
CURB & GUTTER	---	---
SANITARY SEWER FACILITIES	---	---
STORM SEWER FACILITIES	---	---
WATERLINE	---	---
FIRE HYDRANT ASSEMBLY	---	---
WATERWAYS	---	N/A
<b>PROPOSED</b>		
PROPOSED LOT AND S.F.	x 5,000 s.f.	---
OPEN SPACE LABEL	⊙	---
OPEN SPACE	▨	---
BUILDING SET BACKS	---	---
PRIVATE SANITARY SET BACKS	---	---
	STREET SIGN	---
	404 WETLANDS	---
	FLOW DIRECTION	---

**DEVELOPER/OWNER**

Signature Pender County NC, LP.  
4307 Peeble Drive  
WILMINGTON, NC 28402  
PHONE: (713) 822-3891

**PREPARED BY:**

**GSP CONSULTING, PLLC**  
**ENGINEERING**  
6626 Gordon Road, Unit C, Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659 License # P-0718

CERTIFICATE OF PRELIMINARY PLAT APPROVAL  
APPROVED BY PENDER COUNTY UNIFIED DEVELOPMENT ADMINISTRATOR  
SITE PLAN VALID FOR A PERIOD OF TWO (2) YEARS FROM APPROVAL DATE:

ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

INDEX OF SHEETS	
SHT C-0	COVER SHEET
SHT C-1	GENERAL NOTES
SHT C-2	EXISTING CONDITIONS PLAN
SHT C-3	SITE PLAN
SHT C-4	UTILITY PLAN
SHT C-5	OVERALL STORMWATER PLAN

SITE DATA TABLE	
<b>GENERAL NOTES:</b>	
1.	PENDER COUNTY PARCEL NO.: PIN 4214-10-2345-0000
2.	TOTAL TRACT AREA: 1,007,791 SF = 23.14 AC±
3.	ZONING: RESIDENTIAL (RP)
4.	LAND CLASSIFICATION: VACANT/UNDEVELOPED
5.	THIS PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #3720421400J, EFFECTIVE DATE 2/16/2007 AND FLOOD INSURANCE RATE MAP #3720421300J, EFFECTIVE DATE 2/16/2007.
6.	THIS PROPERTY DOES NOT CONTAIN ANY A.E.C. AREAS OR IS UNDER CAMA JURISDICTION.
7.	THIS PROPERTY DOES CONTAIN 404 FEDERAL WETLANDS WHICH HAVE BEEN APPROVED BY THE USACE.
<b>GENERAL NOTES:</b>	
1.	TOTAL SINGLE FAMILY LOTS: 45 OWNERSHIP REFERENCE: D.B. 3272 P.G 62-63 PLAT # 44 PG. 149
2.	PROPERTY IS LOCATED IN PENDER COUNTY AND IS ZONED RESIDENTIAL
3.	A HOME OWNERS ASSOCIATION WILL BE FORMED TO GUARANTEE CONTINUAL MAINTENANCE OF THE COMMON AREAS AND OPEN SPACE.
4.	ALL INTERIOR ROADWAYS ARE TO BE BUILT TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS.
5.	ALL INTERIOR ROADWAYS ARE PUBLIC AND SHALL BE DEDICATED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
6.	A HOME OWNERS ASSOCIATION WILL BE FORMED PRIOR TO THE SALE OF ANY LOTS AND MEMBERSHIP WILL BE AUTOMATIC UPON PURCHASE.
7.	THIS MASTER PLAN IS CONCEPTUAL AND IS SUBJECT TO CHANGE IN ACCORDANCE WITH THE PROVISIONS OF PENDER COUNTY DEVELOPMENT ORDINANCE.
8.	THE DEVELOPERS HAVE THE SOLE RIGHT TO MODIFY THIS MASTER PLAN IN ACCORDANCE WITH MARKET CONDITIONS OR OTHER CONDITIONS WHICH INDICATE A CHANGE IS DESIRED OR REQUIRED. ANY AND ALL CHANGES MUST BE REVIEWED BY THE PLANNING DEPARTMENT AND IN SOME INSTANCES MAY REQUIRE PLANNING BOARD OR COUNTY COMMISSIONERS APPROVAL.
9.	BUFFERS WILL BE PROVIDED PER CURRENT PENDER COUNTY ZONING ORDINANCE.
10.	ALL LOTS WIDTHS WILL BE A MINIMUM OF EIGHTY (80) FEET.
11.	ALL LOTS WHICH FRONT CUL-DE-SACS SHALL HAVE A MINIMUM CHORD LENGTH AT ROW OF THIRTY FOOT (30') MINIMUM.
12.	WETLANDS IMPACTED WILL BE MITIGATED IN ACCORDANCE WITH ANY REQUIREMENTS OF APPLICABLE STATE AND FEDERAL PERMITS.
13.	ALL LOTS SHALL MEET CURRENT PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE & SUBDIVISION REGULATIONS.
14.	ALL PROPOSED OPENSAPCE/RECREATION AREAS ARE NON-BUILDABLE FOR ANY TYPE OF DEVELOPMENT.
<b>MINIMUM LOT DIMENSIONS:</b>	
AREA IN (S.F.)	15,000 SF
MIN USABLE LOT AREA (%)	95%
MIN LOT WIDTH (FT)	80'
MIN CHORD AT ROW (CUL-DE-SAC)	30'
MAX BLDG. HT. (FT)	35'
<b>PROPOSED BUILDING SETBACKS:</b>	
FRONT	30'
REAR	25'
SIDE	10'
CORNER	20'
ANY PERIPHERAL PROPERTY LINE STRUCTURES - AS PER NORTH CAROLINA STATE BUILDING CODE	
<b>REQUIRED OPEN SPACE:</b>	
45 LOTS * 0.03 AC/LOT	= 1.35 AC±
<b>PROVIDED OPEN SPACE:</b>	
0.63 AC± WETLANDS	
0.72 AC± RECREATIONAL SPACE	
1.35 AC± TOTAL OPEN SPACE PROVIDED	
NOTE: PROPOSED OPENSAPCE/RECREATION SPACE AREAS ARE NOT FOR BUILDING OR STRUCTURAL DEVELOPMENT	
<b>DEVELOPMENT DATA:</b>	
TOTAL TRACT AREA	= 1,007,791 SF = 23.14 AC
PROPOSED DENSITY	45 UNITS = 1.9 UNITS/AC
AVERAGE LOT SIZE	= 16,921 SF
AREA OF LOTS PROPOSED	= 761,456 SF = 17.46 AC±
AREA OF ROW PROPOSED	= 93,487 SF = 2.15 AC±
TOTAL PROPOSED ROAD LENGTH	= 2,050 L.F.±
<b>IMPERVIOUS SURFACES -</b>	
PROPOSED BUA	-
ROADS	= 63,456 S.F.
LOTS	= 180,000 S.F.
TOTAL	= 243,456 S.F. (24.2%)
<b>UTILITY DATA:</b>	
TOTAL	= 45 UNITS @ 360 GPD/UNIT = 16,200 GPD
<b>DEVELOPMENT NOTES:</b>	
1.	ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE.
2.	PROJECT SHALL COMPLY WITH ALL CITY, STATE & FEDERAL REGULATIONS.
<b>NOTE:</b>	
ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE & THE STATE OF NORTH CAROLINA	



**COORDINATION NOTES**

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL WORK IS TO BE IN ACCORDANCE WITH PENDER COUNTY AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO OBTAIN THE NECESSARY EASEMENT TO THE NATURE OF PROPOSED WORK, AND TO FELLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

**GENERAL NOTES:**

1. EXISTING TOPOGRAPHY, BOUNDARY AND UTILITIES, HAVE BEEN PREPARED BY FIELD SURVEYS BY ATLANTIC COAST SURVEY, PLLC (F-0922) AND OTHER AVAILABLE INFORMATION.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. CONTRACTOR SHALL REMOVE ASPHALT, AGGREGATE BASE COURSE, AND CONCRETE CURB & GUTTER WITHIN LIMITS OF DEMOLITION AS SHOWN ON PLAN.

**DEMOLITION NOTES**

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

**EROSION AND SEDIMENT CONTROL NOTES**

**GENERAL NOTES:**

1. CLEAR AND REMOVE FROM SITE ALL TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN DESIGNATED CLEARING LIMITS.
2. PLANT GRASS OVER ALL GRADED AREAS AS SHOWN IN THE TABLE ON THIS SHEET OF CEASE OF ANY GRADING ACTIVITY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES.
4. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY THE NCDENR DIVISION OF LAND QUALITY.
5. WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED AND PLANTED AREAS UNTIL FINAL APPROVAL BY THE NCDENR DIVISION OF LAND QUALITY.
6. ANY BORROW MATERIAL BROUGHT ONTO SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.
7. ANY EXCESS MATERIAL REMOVED FROM SITE MUST BE SUBMITTED TO A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.

**MAINTENANCE PLAN**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FROM PRODUCE RAIN BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SALT FENCE STAKES WILL BE SPACED 5 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. INSPECT INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
5. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
6. INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER. PLACE THE SEDIMENT THAT IS REMOVED IN THE DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.  
  
IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS.  
  
IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE OFFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SHANK OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE OFFICE BEFORE REPOSITIONING THE SKIMMER.  
  
CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIPRAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.  
  
AFTER ALL SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL UNSTABLE SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS, AND STABILIZE PROPERLY.
7. INSPECT EXCESSIVE MATING AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT REPAIR IMMEDIATELY. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE MATTING. ANY AREAS OF THE MATTING THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED. IF EROSION OCCURS DUE TO IMPROPERLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED. MONITOR AND REPAIR THE MATTING AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.
7. INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. EVENT REPAIR IMMEDIATELY. GOOD CONTACT WITH THE GROUND MUST BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.  
  
REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.  
  
AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

**STABILIZATION NOTES**

1. ALL DISTURBED AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY AND SLOPES WITHIN 21 CALENDAR DAYS.

**PERMANENT SEEDING SCHEDULE - MIXTURE 50P**

SPECIES	RATE (LB./ACRE)
Centipede Grass	10-20

**Seeding Dates**

MARCH - JUNE

**Soil Amendments**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

**Mulch**

DO NOT MULCH.

**Maintenance**

FERTILIZE VERY SPARINGLY LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

**TEMPORARY SEEDING-LATE WINTER/EARLY SPRING**

**WINTER AND EARLY SPRING**

SPECIES	RATE (LB./ACRE)
Rye (GRAIN)	120
*ANNUAL LESPEDEZA (KORE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
*OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE.	

**SUMMER**

SPECIES	RATE (LB./ACRE)
GERMAN MILLET	40

**FALL**

SPECIES	RATE (LB./ACRE)
RYE (GRAIN)	120

**Seeding dates**

COASTAL PLAIN - DEC. 15 - APR. 15 - LATE WINTER AND EARLY SPRING  
APRIL 15 - AUG. 15 - SUMMER  
AUG. 15 - DEC. 30 - FALL

**Soil amendments**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**Mulch**

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**Maintenance**

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**GENERAL GRADING NOTES**

1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF SUCH UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF THE DITCHING OPERATION BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF THE TRENCHING OPERATIONS SO AS TO AVOID AND PREVENT DAMAGE TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING BUT NOT LIMITED TO REPAIRS AND LOSS SERVICE REVENUE. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE NCDOT.
4. ALL MATERIAL CLEARED AND GRUBBED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK, SUCH AS TREES, VEGETATION, FENCING, ETC., SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE OR BURNED IF PROPER PERMITS ARE RECEIVED.

**SITE NOTES**

1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BRUSH CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
9. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT "NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
11. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL CODES.
13. FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
14. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
16. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

**GENERAL STORM SEWER NOTES**

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENDER COUNTY AND THE STATE OF NORTH CAROLINA REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND MANUFACTURER SPECIFICATIONS.
3. ALL STORM SEWER PIPES ON PRIVATE PROPERTY TO BE HOPE ADS N-12 OR EQUIVALENT, UNLESS OTHERWISE SPECIFIED. ALL STORM SEWER PIPES LOCATED WITHIN THE PUBLIC ROW TO BE RCP CLASS III.
4. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

SITE AREA DESCRIPTION	GROUND STABILIZATION	
	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)



No.	Revision	Date	By	Designer	Scale
				GSP	
				GSP	December 2012
				P-0718	2012-0019

**THE FARMS AT SLOOP POINT**

Topsail Township      Pender County      North Carolina

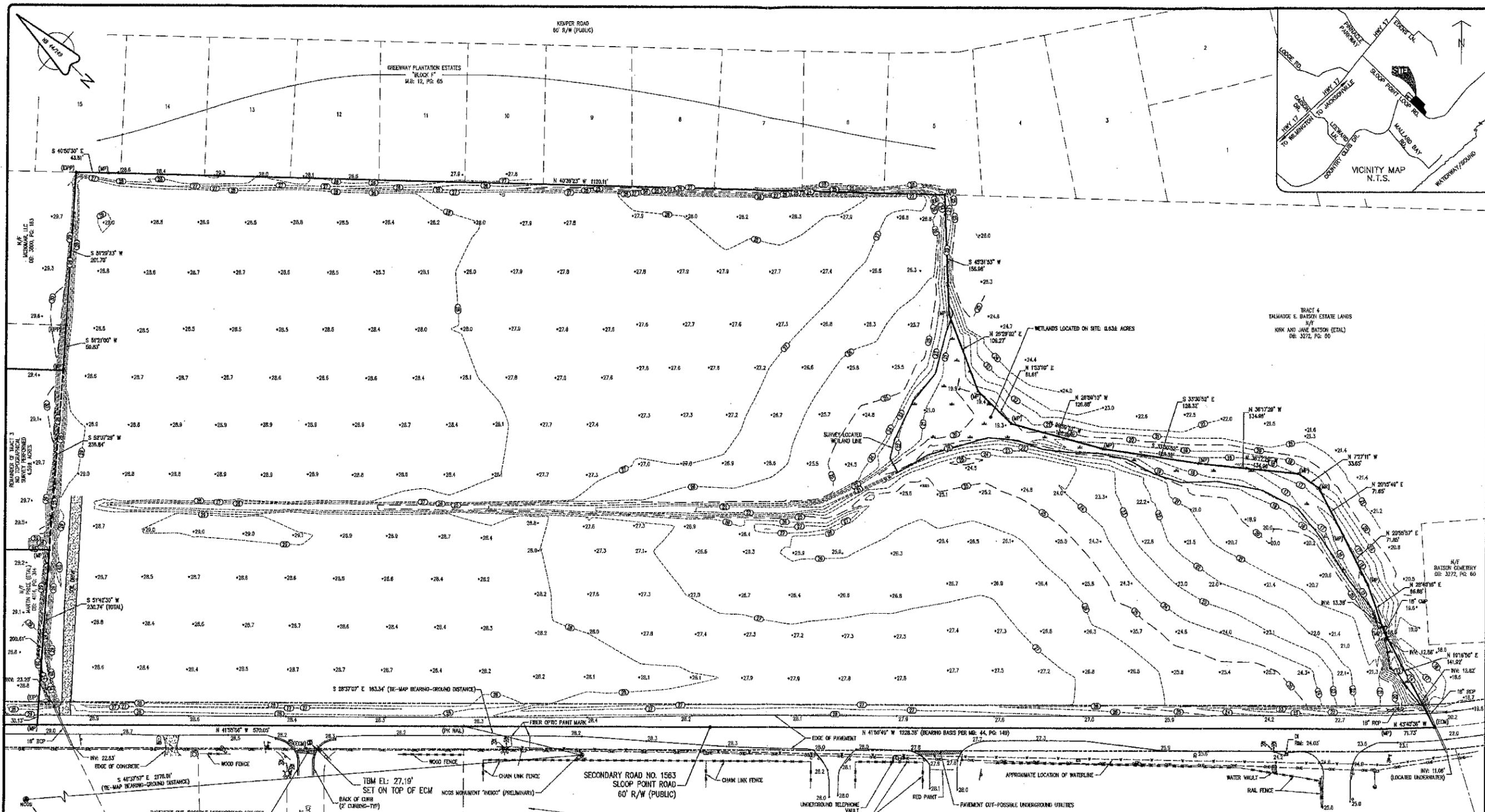
**GENERAL NOTES**

PREPARED FOR:  
SIGNATURE PENDER COUNTY NC, LP  
4307 PEEBLE DRIVE  
WILMINGTON, NC 28402  
713-022-3891

**GSP CONSULTING, PLLC**  
ENGINEERING

6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 919-442-7870 fax: 910-799-6659

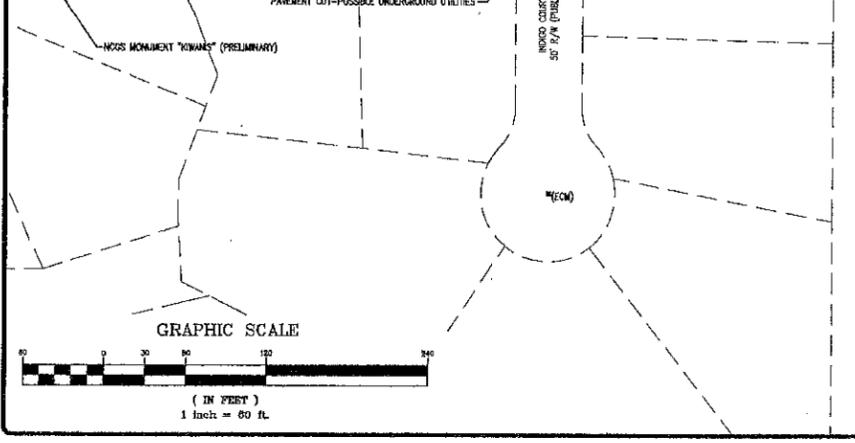
Sheet No.  
**C-1**



Scale AS NOTED	1" = 40'
Date	11-29-12
Checked By	ACE
Drawn By	WMD
Designer	ACE
Sheet No.	C-2

PREPARED FOR:	TALMADGE E. BATSON ESTATE LANDS
	TRACT 3
	MAP BOOK 44, PAGE 149
	Proctor County, North Carolina



**TOPOGRAPHY CERTIFICATION**

I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACCURATE FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON WITHIN THE AREAS SURVEYED AT THE TIME OF THIS SURVEY. THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (2006C.S.1000)

*Miles G. Wozniak*  
MILES G. WOZNIAK - PROFESSIONAL LAND SURVEYOR (1-3518)

*W. J. ...*  
W. J. ... - PROFESSIONAL LAND SURVEYOR (1-3518)

12-19-12

**GENERAL NOTES**

- THIS IS A TOPOGRAPHIC SURVEY.
- PROPERTY IS CURRENTLY ZONED: R1.
- BASES OF BEARINGS FOR THIS MAP ARE BASED ON MD. 44, PG. 149.
- VERTICAL DATUM FOR THIS MAP/PLAT ARE BASED ON NAVD 83.
- ALL DISTANCES ARE HORIZONTAL. GROUND DISTANCES UNLESS OTHERWISE NOTED.
- UNITS ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- AREA BY COORDINATE SEGMENT.
- NOSS GRID MONUMENTS FOUND WITHIN 2000' OF SITE (SEE MAP).
- THIS SURVEY WAS PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- FLOOD NOTE: AS DETERMINED BY GRAPHIC PLOTTING, THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A SPECIAL FLOOD HAZARD ZONE. PER FEMA FLOOD INSURANCE RATE MAP #372642400A, EFFECTIVE DATE 2/16/2007 AND FLOOD INSURANCE RATE MAP #372642400A, EFFECTIVE DATE 2/16/2020.
- UTILITY STATEMENTS: THE UNDERGROUND UTILITIES SHOWN (IF ANY) HAVE BEEN LOCATED FROM COUNTY GIS INFORMATION, EXISTING DRAWINGS & FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- COUNTY TAX PIN #214-10-2345-0000
- TOTAL AREA FOR PORTION OF TRACT 3 IN WHICH A TOPOGRAPHIC SURVEY WAS PERFORMED: 24.421 ACRES. NET AREA (EXCLUDING RIGHT-OF-WAY): 23.144 ACRES. PORTION OF TRACT 3 IN WHICH NO TOPOGRAPHIC SURVEY WAS PERFORMED: 4.596 ACRES.
- MAP & DEED REFERENCES (PER PROCTOR COUNTY REGISTRY, DR. 3272, PG. 62, MD 44, PG. 149, (AND OTHERS THAT MAY BE SHOWN ON THIS MAP).
- NOSS "MIRRO" & "KAWANIS" ARE NEW AND NO DATA OR INFO HAS BEEN RELEASED BY NOSS AT DATE OF SURVEY.

SYMBOL LEGEND:	
●	EXISTING IRON PIPE / 1000
○	REBAR SET
○	EXISTING REBAR
■	EXISTING CONCRETE MONUMENT
▲	MAP POINT
▲	PK NAIL
●	EXISTING NOSS MONUMENT
○	WATER METER
○	WATER VALVE
○	FIRE HYDRANT
○	FIRE DEPARTMENT CONNECTION
○	IRRIGATION CONTROL VALVE
○	WATER MANHOLE
○	WELL (AS NOTED)
○	AIR RELEASE VALVE
○	BLow-OFF VALVE
○	STORM DRAIN MANHOLE
○	CATCH BASIN
○	DRIP / YARD BALET
○	SEWER MANHOLE
○	FRONT OPTIC PEDISTAL
○	SEWER CLEAN-OUT
○	UTILITY POLE
○	GUY WIRE ANCHOR
○	ELECTRIC PEDISTAL
○	ELECTRIC METER
○	LIGHT / LIGHT POLE
○	ELECTRIC MANHOLE
○	FRONT OPTIC MARKER
○	TELEPHONE PEDISTAL
○	TELEPHONE MANHOLE / VAULT
○	GAS METER
○	GAS VALVE
○	GAS MARKER
○	MAIL BOX
○	SIGN
○	BOULDER
○	UTILITY MANHOLE
○	BORE HOLE LOCATION
○	FLARED END SECTION
○	SEWER MANHOLE
○	+34.3 GROUND SHOT ELEVATION

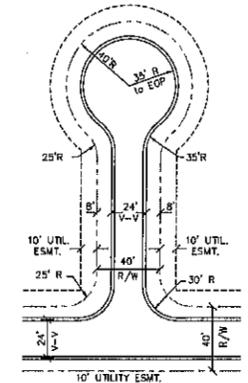
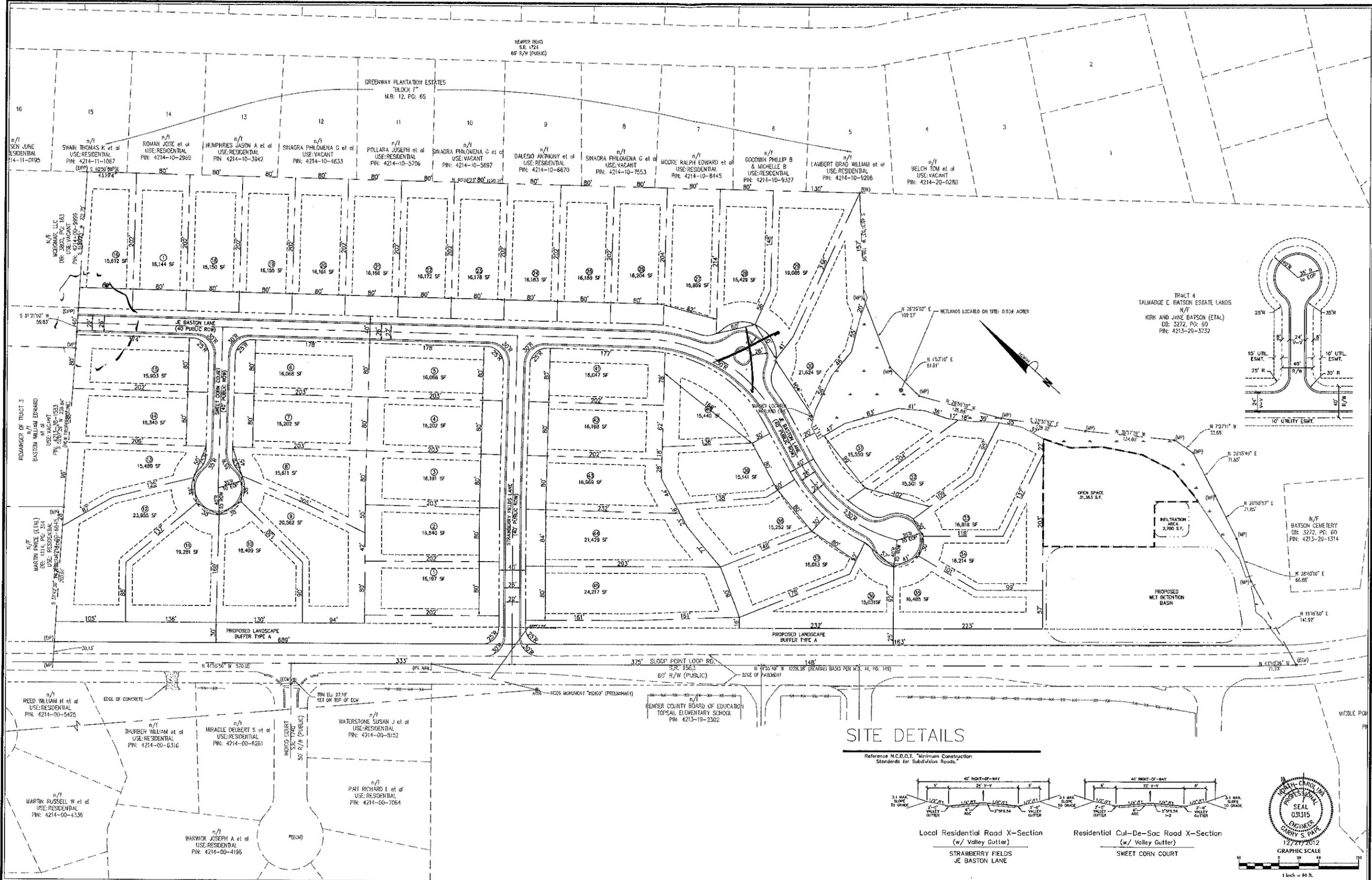
  

LINETYPE LEGEND:	
---	SURVEYED LINES (BOUNDARY)
---	LINE PER RECORD DATA
---	LINE NOT SURVEYED (ADJACENTS)
---	RIGHT-OF-WAY
---	FENCE
---	STORM PIPE
---	OVERHEAD ELECTRIC
---	MINOR CONTOUR WITH ELEVATION
---	MAJOR CONTOUR WITH ELEVATION
---	WATER LINE (APPROXIMATE LOCATION)

ABBREVIATIONS:	
EP	EXISTING IRON PIPE
ER	EXISTING IRON ROD
BS	REBAR SET
NOM	MONUMENT
NOCS	NORTH CAROLINA OSSEIC SURVEY
NOV	INVERT
ELEV	ELEVATION
MISS	SEWER MANHOLE
RCP	REINFORCED CONCRETE PIPE
UHD	STORM DRAIN MANHOLE
N/F	NOW OR FORMERLY
MB	MAP BOOK / CABINET
DB	DEED BOOK
PG	PAGE
BDG	BUILDING
EL	ELEVATION
[E]	EXISTING
DIST.	INSTALLED

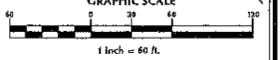
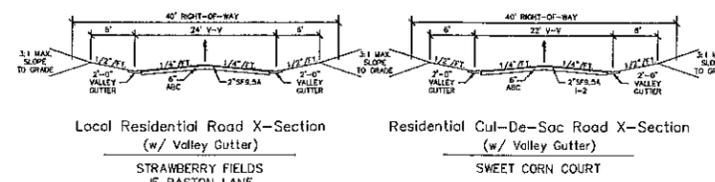
JOB NO: 12-1062



TRACT 4  
TALMADGE C. BATSON ESTATE LANDS  
N/F  
KIRK AND JANE BATSON (ETAL.)  
DB: 3272, PG: 60  
PIN: 4213-25-3732

**SITE DETAILS**

Reference N.C.D.O.T. "Minimum Construction Standards for Subdivision Roads."



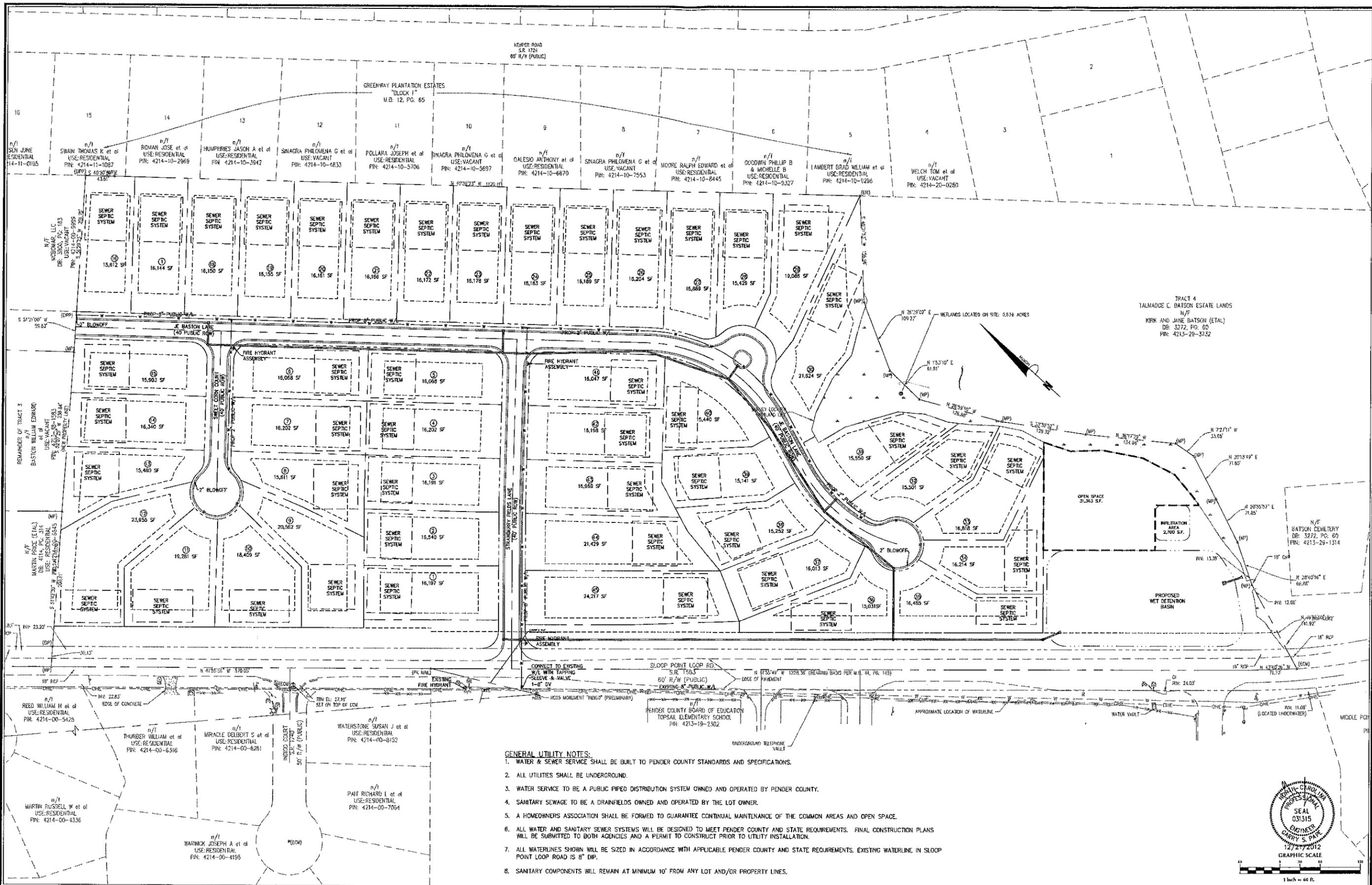
No.	Revision	Date	By	Designer	Scale
				GSP	1" = 60'
				GSP	December 2012
				P-0718	2012-0018

**THE FARMS AT SLOOP POINT**  
SITE PLAN  
Topsail Township Pender County North Carolina

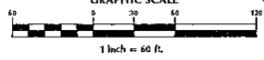
PREPARED FOR:  
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713-822-3891

**GSP CONSULTING, PLLC**  
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6626 Gordon Road, Unit C, Wilmington, North Carolina 28411  
tel: 910-442-7870 fax: 910-799-6659

Sheet No. **C-3**



- GENERAL UTILITY NOTES:**
1. WATER & SEWER SERVICE SHALL BE BUILT TO PENDER COUNTY STANDARDS AND SPECIFICATIONS.
  2. ALL UTILITIES SHALL BE UNDERGROUND.
  3. WATER SERVICE TO BE A PUBLIC PIPED DISTRIBUTION SYSTEM OWNED AND OPERATED BY PENDER COUNTY.
  4. SANITARY SEWAGE TO BE A DRAINFIELD OWNED AND OPERATED BY THE LOT OWNER.
  5. A HOMEOWNERS ASSOCIATION SHALL BE FORMED TO GUARANTEE CONTINUAL MAINTENANCE OF THE COMMON AREAS AND OPEN SPACE.
  6. ALL WATER AND SANITARY SEWER SYSTEMS WILL BE DESIGNED TO MEET PENDER COUNTY AND STATE REQUIREMENTS. FINAL CONSTRUCTION PLANS WILL BE SUBMITTED TO BOTH AGENCIES AND A PERMIT TO CONSTRUCT PRIOR TO UTILITY INSTALLATION.
  7. ALL WATERLINES SHOWN WILL BE SIZED IN ACCORDANCE WITH APPLICABLE PENDER COUNTY AND STATE REQUIREMENTS. EXISTING WATERLINE IN SLOOP POINT LOOP ROAD IS 8" DIP.
  8. SANITARY COMPONENTS WILL REMAIN AT MINIMUM 10' FROM ANY LOT AND/OR PROPERTY LINES.



No.	Revision	Date	By	Designer	Scale
				GSP	1" = 60'
		December 2012		GSP	
		2012-0010			

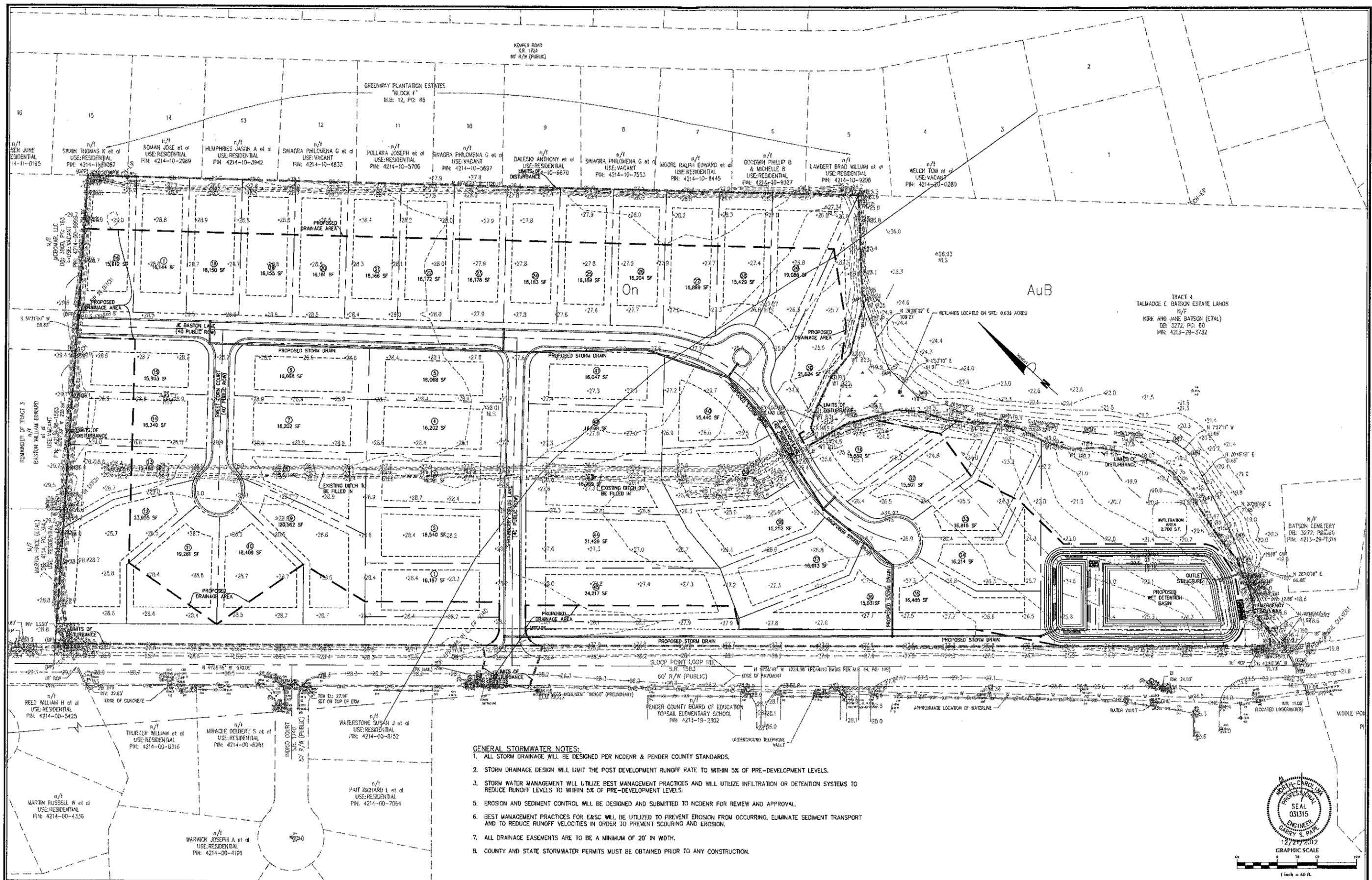
**THE FARMS AT SLOOP POINT**  
 Utility Plan  
 Topsail Township Pender County North Carolina

**UTILITY PLAN**

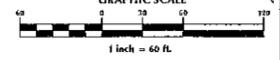
PREPARED FOR:  
 SIGNATURE PENDER COUNTY NC, LP  
 4307 PEEBLE DRIVE  
 WILMINGTON, NC 28402  
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Sheet No.  
**C-4**



- GENERAL STORMWATER NOTES:**
1. ALL STORM DRAINAGE WILL BE DESIGNED PER NCDENR & PENDER COUNTY STANDARDS.
  2. STORM DRAINAGE DESIGN WILL LIMIT THE POST DEVELOPMENT RUNOFF RATE TO WITHIN 5% OF PRE-DEVELOPMENT LEVELS.
  3. STORM WATER MANAGEMENT WILL UTILIZE BEST MANAGEMENT PRACTICES AND WILL UTILIZE INFILTRATION OR DETENTION SYSTEMS TO REDUCE RUNOFF LEVELS TO WITHIN 5% OF PRE-DEVELOPMENT LEVELS.
  4. EROSION AND SEDIMENT CONTROL WILL BE DESIGNED AND SUBMITTED TO NCDENR FOR REVIEW AND APPROVAL.
  5. BEST MANAGEMENT PRACTICES FOR E&SC WILL BE UTILIZED TO PREVENT EROSION FROM OCCURRING, ELIMINATE SEDIMENT TRANSPORT AND TO REDUCE RUNOFF VELOCITIES IN ORDER TO PREVENT SCOURING AND EROSION.
  6. ALL DRAINAGE EASEMENTS ARE TO BE A MINIMUM OF 20' IN WIDTH.
  7. COUNTY AND STATE STORMWATER PERMITS MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION.



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				CSP	1" = 60'
				GSP	December 2012
				P-0718	2012-0019

**THE FARMS AT SLOOP POINT**  
 Topsail Township      Pender County      North Carolina

**STORMWATER MANAGEMENT PLAN**

PREPARED FOR:  
 SIGNATURE PENDER COUNTY NC, LP  
 4307 PEEBLE DRIVE  
 WILMINGTON, NC 28402  
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Sheet No.  
**C-5**