

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information Farnna Holdings Major Site Development Plan

Case Number: SDP 2025-482

Application Type: Major Site Development Plan

Applicant: Farnna Holdings, LLC

Owners: Farnna Holdings, LLC

Location: The subject property is located west of US-17 and Whitebridge Road intersection in the Topsail Township.

Property ID #: 3282-20-2545-0000

Description: Farnna Holdings, LLC is requesting the approval of a Major Site Development Plan for the development of a boat and trailer storage area.

Current Zoning: PD, Planned Development and CZ9, Conditional Zoning,

Application Materials

Application
Site Plan

APPLICATION

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Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. _____ **Pre-submittal Meeting**
Date of Meeting _____
2. _____ **Signed Application**
3. _____ **Payment**
\$250
4. _____ **Paper Plan Sets**
Two (2) 24 x 36, Four (4) 11 x 17
5. _____ **Digital Submission**
For all documents submitted in paper copy, provide a digital version. These may be emailed or uploaded to a share folder. Physical media such as CD or USB drives will not be accepted.
6. _____ **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds.
7. _____ **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage. Do not include return address or company branding on envelopes.
8. _____ **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
9. _____ **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

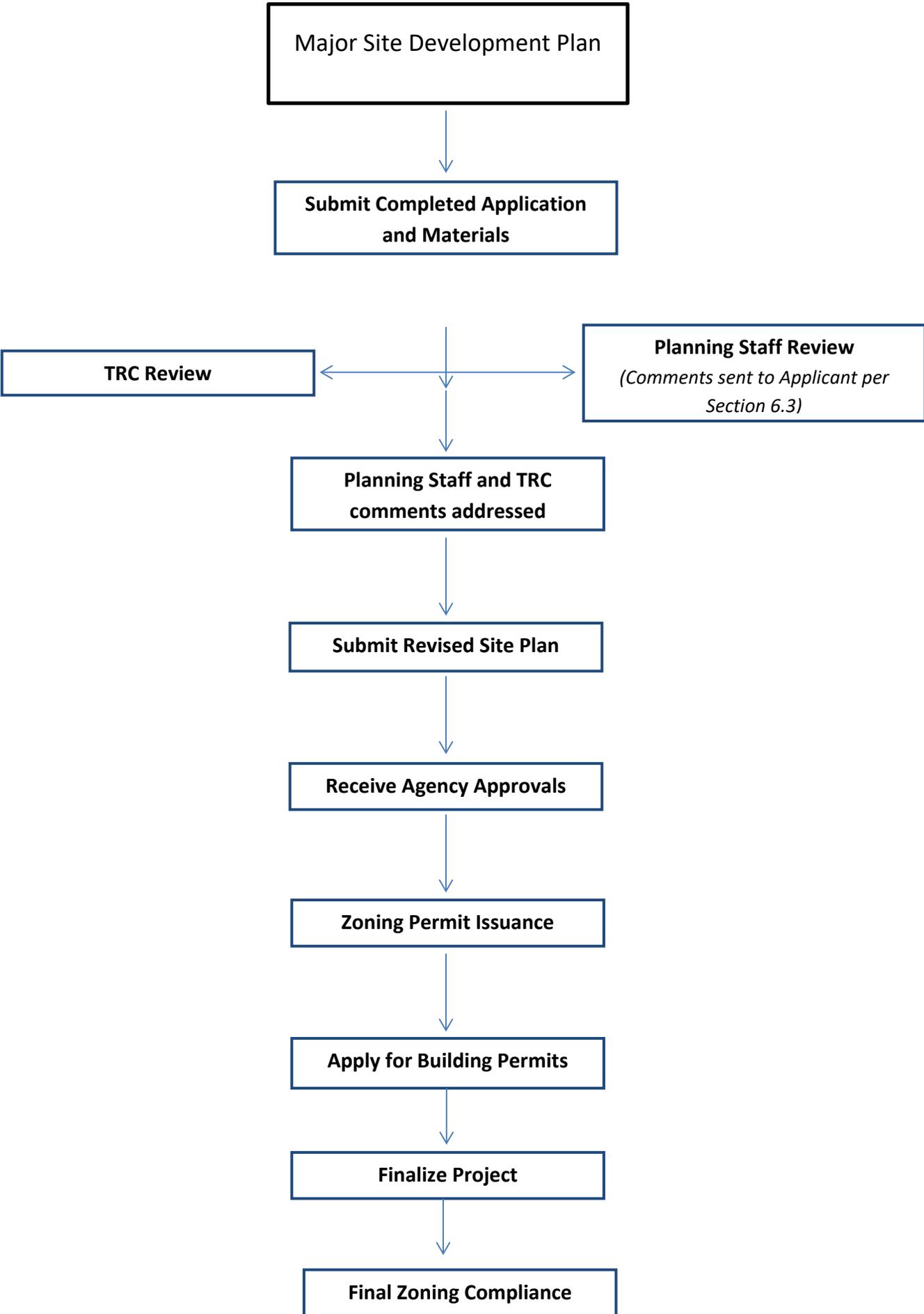
Signature of Applicant _____

Date _____

Printed Name _____

Staff Initials: _____

Date: _____



Major Site Development Plan Specific Requirements

1. Major Site Development Application Submittal

- Site Plan (per Section 6.3)
 - Scale
 - North Arrow
 - All property information (zoning, setbacks, PIN #)
 - Adjacent property info (owner, zoning, use, PIN #)
 - References to any previously approved plans
 - Utility providers
 - All existing and proposed structures
 - Buffering (Section 8.2.6) & Landscaping (8.3)
 - Parking (Section 7.10)
 - Lighting
 - Cross Access Connections (Section 7.4.4)
 - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
 - Soil Erosion and Sedimentation Control Plan
 - Location of all environmental features
 - Stormwater management features
 - Proposed accesses, easements, streets, and sidewalks
- Permits received

2. TRC Meeting

- Site Plan Review
- Agency comments/requirements

3. Post-TRC Meeting

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

4. Approval of Site Plan

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

5. Final Zoning

- Site Visit to check the following:
 - Landscaping
 - Buffering
 - Parking

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MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

THIS SECTION FOR OFFICE USE							
Date:	Permit Number:	Permit Fee:	Invoice Number:				
*Zoning Approval ONLY: YES / NO			Final Zoning Compliance Approved: YES / NO / N/A				
Type of Site Development Plan:	<input type="checkbox"/> Major		<input type="checkbox"/> Minor				
SECTION 1: GENERAL INFORMATION							
Applicant's Name:	Farnna Holdings LLC		Property Owner's Name:	same			
Applicant's Address:	12915 US Hwy 17		Property Owner's Address:				
City, State, & Zip	Hampstead, NC 28443		City, State, & Zip				
Phone Number:	910-899-7971		Phone Number:				
Email Address:	farnell@shingletonfarms.com		Email Address:				
Legal relationship of applicant to landowner:							
SECTION 2: PROJECT INFORMATION							
PIN (Property Id #):	3282-20-2545-0000		Total property acreage:	1.50 ac			
Zoning:	CDZ-PD		Acreage to be disturbed:	1.67			
Water Provider:	Pender Co		Wastewater Provider:	Pluris			
Directions to Site:			Township:	Hampstead			
			Road Type:	Public/Private/Both			
Lot Size:			Sq Ft of Building:			Building Height:	
Setbacks	Front: 25'	Side: 10'	Rear: 10'				
NAICS Code/Use:	493110						
Business Name:	boat and trailer storage						
Describe activities to be undertaken on project site:	boat and trailer pick-up and drop-off for recreation use.						
Ownership:	Number of Employees:	Number of Members:	Seating Capacity:				
<input checked="" type="checkbox"/> Private <input type="checkbox"/> Public	2	1					

**If the applicant is not the owner of the property, a notarized letter from the property owner may be required*

**Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...*

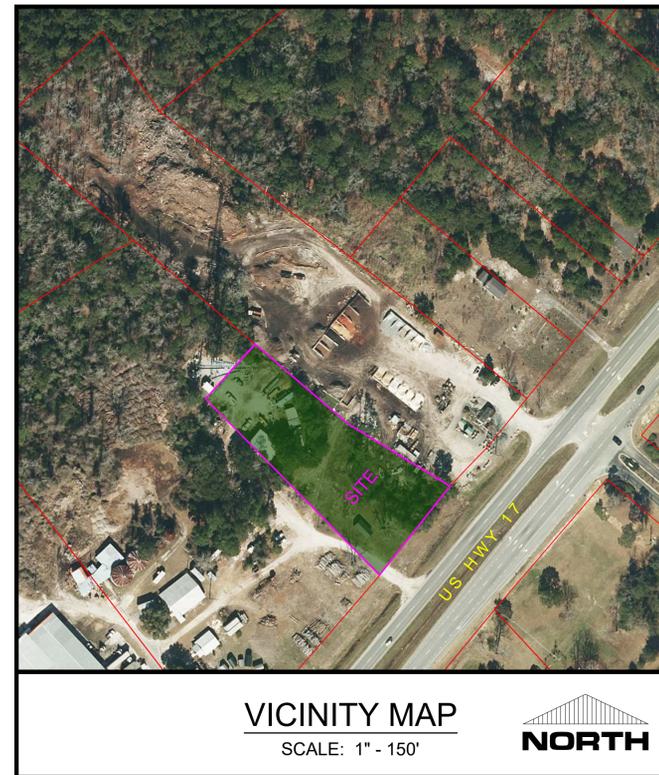
SECTION 4: ADDITIONAL COMMENTS			

SECTION 5: SIGNATURES			
Applicant's Signature	<i>T. Farnell Shingleton</i>	Date:	
Applicant's Name Printed	T. Farnell Shingleton	Date:	4/24/25
Owner's Signature	same	Date:	
Owner's Name Printed	same	Date:	
Planning Staff:		Date:	

SITE PLAN

US HWY 17 BOAT STORAGE HAMPSTEAD, PENDER CO., NC

DESIGN DRAWINGS APRIL 2025



SURVEYOR

Talbot Land Surveying, P.C.
16747 U.S. Hwy 17, Suite 118
Hampstead, North Carolina 28443
Firm License C-2722
Phone: (910) 270-9824

CIVIL SHEET LIST

PG.	INDEX	SHEET DESCRIPTION
1	COVER	COVER SHEET
2	CX-100	EXISTING CONDITIONS AND EROSION CONTROL PLAN
3	CS-100	SITE, GRADING, AND DRAINAGE PLAN
4	CS-101	NCDOT DRIVEWAY PLAN
5	CE-100	EROSION CONTROL AND GRADING DETAILS
6	CD-100	CIVIL SITE DETAILS

UTILITY CONTACTS AND AUTHORITIES HAVING JURISDICTION

PENDER COUNTY	PLANNING AND ZONING	910-259-0931
NCDEQ LAND QUALITY	STORMWATER-EROSION	910-796-7215
PENDER COUNTY EMS-FIRE	NON-EMERGENCY	910-259-0891
PENDER COUNTY UTILITIES	WATER	910-259-1570
PENDER COUNTY HEALTH	ONSITE WASTEWATER	910-259-1230
PLURIS MANAGEMENT GROUP	SEWER	(888) 758-7471
FOUR COUNTY ELECTRIC	CUSTOMER	910-259-2361
DUKE ENERGY ELECTRIC	CUSTOMER	1-800-452-2777
AT&T	ENGINEERING	910-341-7664
SPECTRUM	ENGINEERING	910-763-4638
PIEDMONT NATURAL GAS	ENGINEERING	910-350-2242



Know what's below.
Call before you dig.

UTILITY NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF DOGWOOD, P.L.L.C. AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH DOGWOOD, P.L.L.C. PROVIDERS ARE COMMITTING THEIR WORKS TO THE LORD AND YOUR PLANS WILL BE ESTABLISHED.



LEGEND:

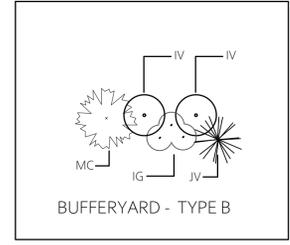
- LOD — LOD — LIMITS OF DISTURBANCE
- SF — SF — SILT FENCE
- TREE PROTECTION FENCING
- FENCING, TYPE AS SPECIFIED
- COIR FIBER BAFFLES
- >TDD — >TDD — TEMP. DIVERSION DITCHES
- 20 — 20 — PROPOSED CONTOURS
- 20 — 20 — EXISTING CONTOURS
- W — W — W — WATER LINE
- F — F — FIRE LINE
- FM — FM — FORCEMAIN LINE
- SS — SS — SANITARY SEWER LINE
- SANITARY SEWER LATERAL/SERVICE
- STORM DRAIN LINE
- ROOF DRAIN LINE
- 20 — 20 — PROPOSED CONTOURS
- PROPOSED SETBACKS
- PROPOSED BUFFERS/EASEMENTS
- ROOF DRAIN LINE

n/f
FARNNA Holdings, LLC
DB 4824 Pg 50
(Tract 2)
3282-20-2545-0000
Vacant - Wood Piles
Zoning: RP

TRACT 20
9.11 Acres

LANDSCAPE SCHEDULE AND BUFFER

KEY	NO.	BOTANICAL NAME	COMMON NAME, VARIETY	LANDSCAPE TYPE	SIZE	TYP. SPACING
QA	3	QUERCUS ALBA	EASTERN WHITE OAK	STREET CANOPY TREE	2-3' CAL.	PER PLAN
IV	9	ILEX VOMITORIA	YAUAPON HOLLY	STREET UNDERSTORY TREE	1-2' CAL.	PER PLAN
JV	75	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	BUFFER B	1" CAL.	PER PLAN
IV	150	ILEX VOMITORIA	YAUAPON HOLLY	BUFFER B	1-2' CAL.	PER PLAN
MC	75	MYRICA CERIFERA	BAYBERRY; WAX MYRTLE	BUFFER B	7 GAL.	8-FT O-C
IG	225	ILEX GLABRA	INKBERRY	BUFFER B	5 GAL.	5-FT O-C
LI	3	LAGERSTROEMIA INDICA	CREPE MYRTLE; 'RED ROCKET'	PARKING LOT	1-2' CAL.	PER PLAN
MA	42	MISCANTHUS ADAGIO	CHINESE SILVERGRASS	BORDER GRASS	3 GAL.	48" O-C
SOD		TIPWAY 419 BERMUUDA, JAMUR OR EMPIRE ZOYSIA				PER PLAN

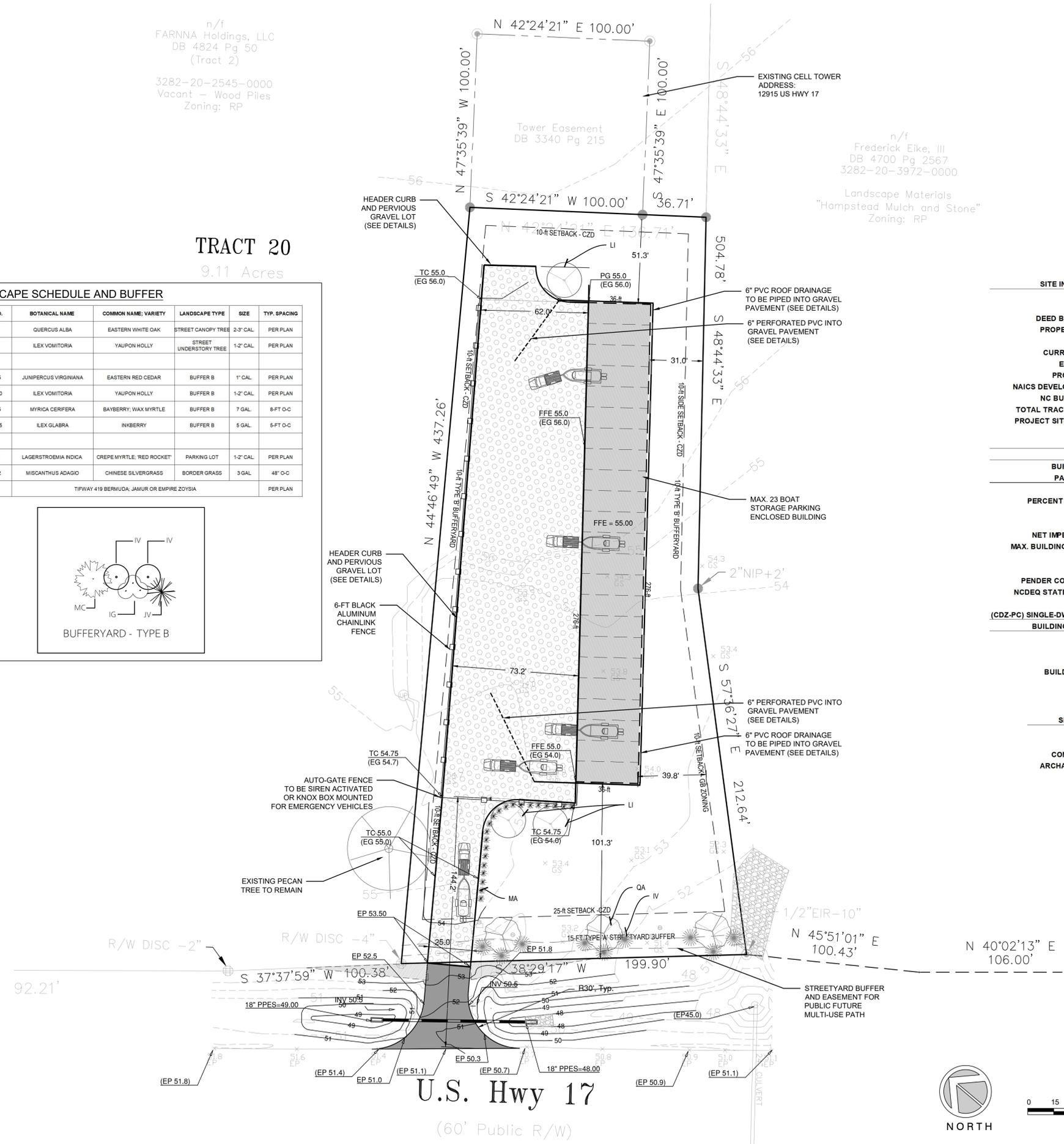


SPOT GRADE LEGEND:
PG = PROPOSED GRADE (GROUND)
EG = EXISTING GRADE
EP = EDGE OF PAVEMENT
EC = EDGE OF CONCRETE
SW = TOP OF SIDEWALK
BC/TC = TOP OF CURB ELEVATION
GRV = GRAVEL PARKING

RIM = CENTER OF GRATE
CI = CATCH BASIN
DI = DROP INLET
YI = YARD INLET
MH = STORM MANHOLE
CL = CENTERLINE
INV = INVERT
CIO = TOP OF CLEANOUT
(EG) = EXISTING ELEVATIONS, TYP.

- GENERAL CIVIL-SITE NOTES:**
- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED.
 - THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
 - ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT. CONTRACTOR SHALL EMPLOY PROFESSIONAL SURVEYOR TO PERFORM LOCATION OF EASEMENTS AS NEEDED.
 - CIVIL SITE PLANS DO NOT REPRESENT ACCURACY OR PIPE PENETRATION LOCATIONS OF ALL STRUCTURES. CONTRACTOR AND OWNER SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND DETAILS.

- GRADING AND DRAINAGE NOTES:**
- STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER, INCLUDING PIPES, STRUCTURES, AND STORMWATER CONTROL MEASURES AS PERMITTED WITH THE STATE OR LOCAL JURISDICTION.
 - ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS SHOWN OTHERWISE.
 - BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. CONTRACTOR, BUILDERS, AND OWNERS ARE RESPONSIBLE FOR COORDINATING ROOF DRAINAGE PIPING IN ADVANCE OR ORDERING FINAL STORM DRAINAGE. REF: CIVIL OR ARCHITECT DETAILS FOR TYPICAL DOWNSPOUT DETAILS AND CONNECTIONS.
 - REFERENCE GENERAL NOTES SHEET FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS. TECHNICAL SPECIFICATIONS ARE NOT PROVIDED SEPARATELY BUT INCLUDED HEREIN THESE DESIGN DOCUMENTS FOR REFERENCE. ANY DISCREPANCIES SHALL BE PRESENTED TO THE ENGINEER PRIOR TO CHANGING THE WORK. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENDER COUNTY AND THE TOWN OF SURF CITY BUILDING INSPECTIONS.
 - GEOTECHNICAL TESTING SHALL BE PERFORMED ON-SITE BY A THIRD-PARTY GEOTECHNICAL ENGINEER IN ORDER TO CONFIRM SUITABILITY OF SOILS AND SUBGRADE MATERIAL AND SET THE MINIMUM COMPACTION VALUES IN FILL AREAS, UTILITY TRENCHES, PAVEMENT, AND BUILDING PADS. CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER.



SITE INFORMATION:

PARCEL ID: 3282-20-2545-0000
ADDRESS: 12915 US HWY 17
DEED BOOK & PAGE: DB 4824, PAGE 50
PROPERTY OWNER: FARNNA HOLDINGS, LLC
DEVELOPER: FARNNA HOLDINGS, LLC
CURRENT ZONING: CDZ - PD
EXISTING USE: VACANT
PROPOSED USE: BOAT AND TRAILER ENCLOSED STORAGE
NAICS DEVELOPMENT USE: 493110 - SELF-STORAGE OF BOATS AND TRAILER;
NC BUILDING TYPE: TYPE III - WOOD FRAME
TOTAL TRACT AREA (AC.): 1.50
PROJECT SITE AREA (AC.): 1.67

PROPOSED:

BUILDING ROOF:	9936
PARKING AREA:	23000
TOTAL:	32936
PERCENT IMPERVIOUS:	50%

REMOVED: 0
NET IMPERVIOUS (+/-): 0
MAX. BUILDING COVERAGE: 15%

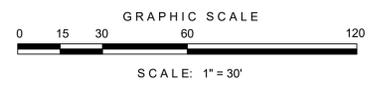
PENDER CO. SW PERMIT: YES (PRE-POST 10, 25, 50, AND 100-YR)
NCDEQ STATE SW PERMIT: YES (1.50-INCH)

(CDZ-PC) SINGLE-DWELLING DEVELOPMENT DATA

BUILDING SETBACKS:	REQUIRED:	PROPOSED:	
FRONT:	25	101	US 17
SIDE:	10	31	
REAR:	10	51	
BUILDING HEIGHT:	NA	15	
PARKING:	NA		

SITE INVENTORY NOTES:

SOILS: LnA - Leon Sands
CAMA AEC: NA
CONSERVATION OVERLAY: NA
ARCHAEOLOGICAL-HISTORIC: NA
CEMETERY: NA
REGULATED TREES: NA
WETLANDS: NA
SPECIES: NA
FLOOD MAP (SFHA): NA
WATERSHED: TOPSAIL SOUND - 2 MIL
(WATER CLASS SA; ORW 18-87-11.7)



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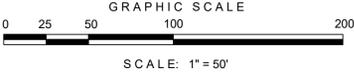
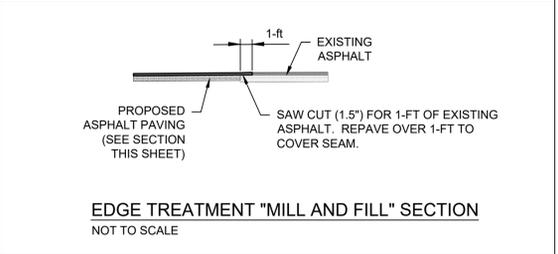
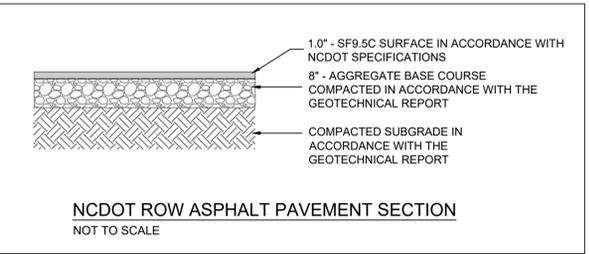
REVISION NO.

FARNELL SHINGLETON
12919 US HWY 17
HAMPSTEAD, NC 28443

US 17 BOAT STORAGE
12919 US HWY 17
HAMPSTEAD, NC 28443

**DRIVEWAY
PLAN
AERIAL MAP**

PROJ. NO. 25100.DLD
DRAWN BY: JBS
SCALE: 1" = 50'
DATE: 3.20.25
SHEET:
CS101
4 OF: 6



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**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would compromise the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measures, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sediment is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2)(g) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover), 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported
Permittees shall report the following occurrences:
(a) Visible sediment deposition in a stream or wetland.
(b) Oil spills if:
• They are 25 gallons or more,
• They are less than 25 gallons but cannot be cleaned up within 24 hours,
• They cause sheen on surface waters (regardless of volume), or
• They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	• Within 24 hours , an oral or electronic notification. • Within 7 calendar days , a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and releases of hazardous substances per Item 1)(b)-(c) above	• Within 24 hours , an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. • A report at least ten days before the date of the bypass , if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• Within 7 calendar days , a report that includes an evaluation of the quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	• Within 7 calendar days , a report that contains a description of the bypass, its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.
(e) Noncompliance with the conditions of the permit that may endanger health or the environment [40 CFR 122.41(j)(7)]	• Within 24 hours , an oral or electronic notification. • Within 7 calendar days , a report that contains a description of the noncompliance, its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.

(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.

(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.

(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.

(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.

(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	
	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed 7-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

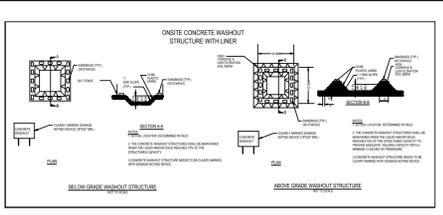
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

GROUND STABILIZATION SPECIFICATION

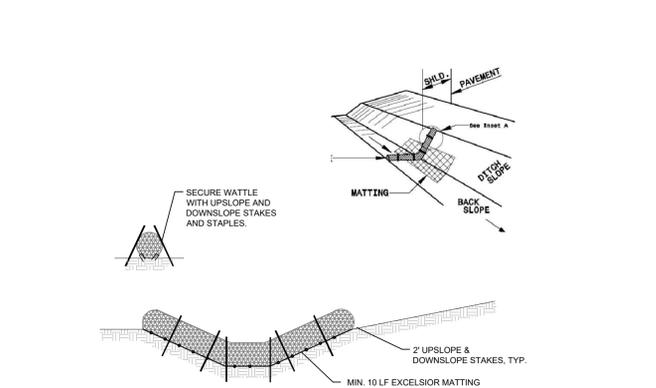
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting	• Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

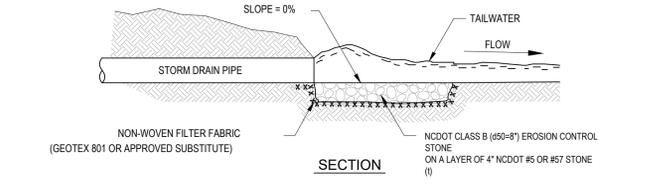
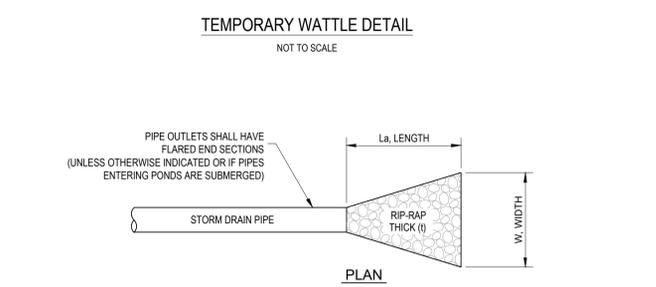
POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the **NC DWR List of Approved PAMS/Flocculants**.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the **NC DWR List of Approved PAMS/Flocculants** and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19



- NOTES:
- USE MINIMUM 12" DIA. EXCELSIOR WATTLE.
 - USE 2"x2" WOODEN STAKES 2-FT IN LENGTH ON THE UPSLOPE AND DOWNSLOPE AT AN ANGLE TO WEDGE THE WATTLE TO THE BOTTOM OF THE SWALE.
 - STAPLE EVERY 1 FT ON BOTH SIDES OF THE WATTLE TO SECURE IT TO THE BOTTOM OF THE SWALE.



PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA HILLED BERMUDA UNILLED	10-20	35 MARCH - AUGUST SEPT. - FEB.	BY SOIL TEST
ZOYSIA	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LBS/AC 10-20-20 OR BY SOIL TEST
SLOPES $\geq 2:1$ ZOYSIA	5	20 JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/AC 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC 10-20-20
GERMAN or BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC 10-20-20
STRAW MULCH AS NEEDED	4,000		

DOGWOOD LAND DEVELOPMENT
205 Sierra Dr
Wilmington, NC 28409
910-264-1071
6-275

PROFESSIONAL SEAL
NORTH CAROLINA PROFESSIONAL ENGINEERS EXAMINING BOARD
034354
04/25/2023

REVISION NO.

EROSION CONTROL MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 12-INCH OR GREATER RAINFALL. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE / SEDIMENT FENCE OUTLETS - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 6 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 8 FEET WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCELSIOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES FULL FULL OF SEDIMENT, NO LONGER DRAINS, OR IS DAMAGED.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. REF: NPDES NCG01 SPECIFICATIONS.
- INLET PROTECTION - SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL OR ROCK-PIPE INLETS, WHEN IT BECOMES HALF-FILLED. ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.
- SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DURING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE PIPING AND POOL AREA. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, ETC.
- SEDIMENT BASIN BAFFLES - BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. THEY WILL BE REPAIRED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE FIRST BAFFLE.
- SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
- OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER OFFSITE SEDIMENTATION.
- EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
- DIVERSION DITCHES / GRASS SWALES - INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. DIVERSIONS SHALL BE LINED OR STABILIZED AS NOTED ON THE PLANS. IF THE DIVERSION WILL BECOME PERMANENT GRASS SWALES, THEN GROW GRASS INTO A HEALTHY, VIGOROUS CONDITION. LININGS OR ROLLED EROSION CONTROL PRODUCTS (RECP) SHALL BE PROPERLY STAKED AND IN CLOSE CONTACT WITH THE GROUND. MONITOR AND REPAIR THE LINING AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED IN THE DITCH.
- CHECK DAMS - EXCELSIOR OR RIP RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED, AND CHANNEL SHALL BE REPAIRED OF RUTS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.
- CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO ENHANCE TO AVOID OVERFLOW. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

US 17 BOAT STORAGE

12919 US HWY 17
HAMPSTEAD, NC 28443

EROSION CONTROL DETAILS

PROJ. NO: 25100.LDD
DRAWN BY: JBS
SCALE: NA
DATE: 3.20.25
SHEET: CE100
5 OF 6

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF DOGWOOD, L.L.C. AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH DOGWOOD, L.L.C. PROVISIONS RESERVE COMMIT YOUR WORKS TO THE LORD AND YOUR PLANS WILL BE ESTABLISHED.

GENERAL EARTHWORK NOTES:

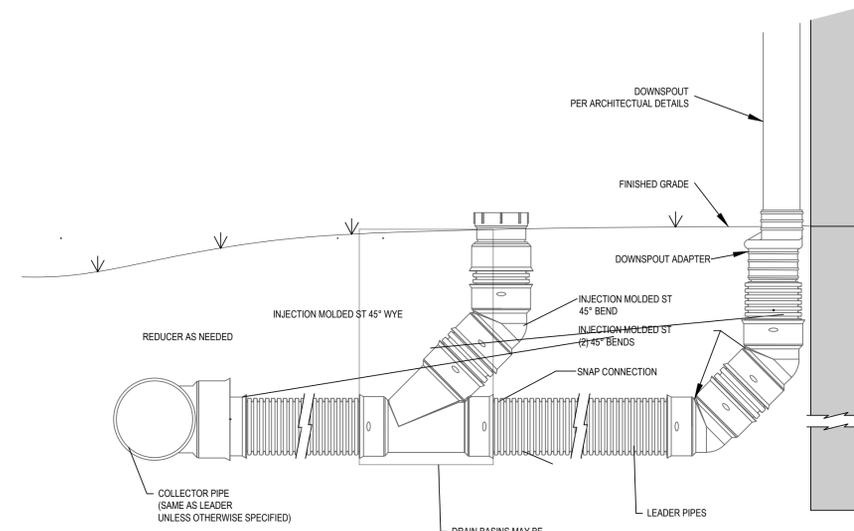
1. THE CONTRACTOR IS REQUIRED TO STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED PAVEMENT SUBGRADE, AND BUILDING PAD IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
2. THE CIVIL ENGINEER CAN RECOMMEND A TYPICAL PAVEMENT SECTION UPON REQUEST, BUT THE RESPONSIBILITY OF PAVEMENT TESTING AND SECTION SHALL BE IN ACCORDANCE WITH FIELD CONDITIONS AND GEOTECHNICAL SPECIFICATIONS.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
3. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT. CONTRACTOR SHALL EMPLOY PROFESSIONAL SURVEYOR TO PERFORM LOCATION OF EASEMENTS AS NEEDED.
5. CIVIL SITE PLANS DO NOT REPRESENT ACCURACY OR PIPE PENETRATION LOCATIONS OF ALL STRUCTURES. CONTRACTOR AND OWNER SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL CONTRACT NOTES:

1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SURVEILLANCE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.

GENERAL CONTRACT NOTES:

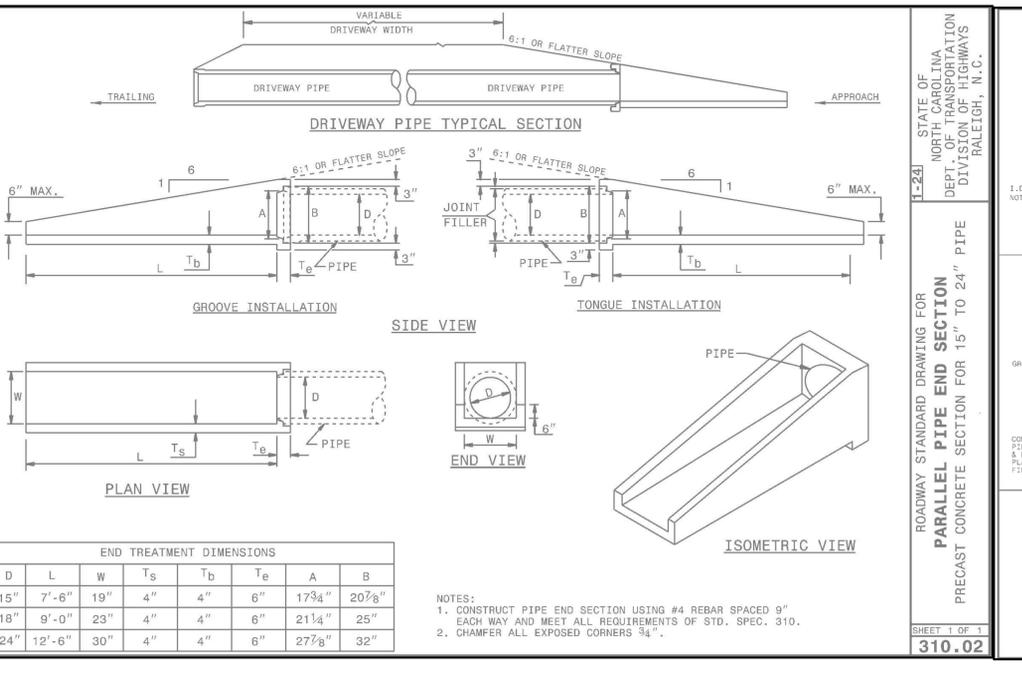
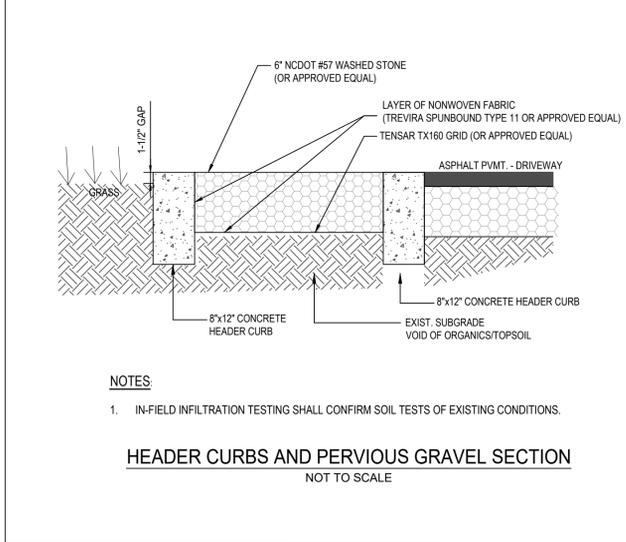
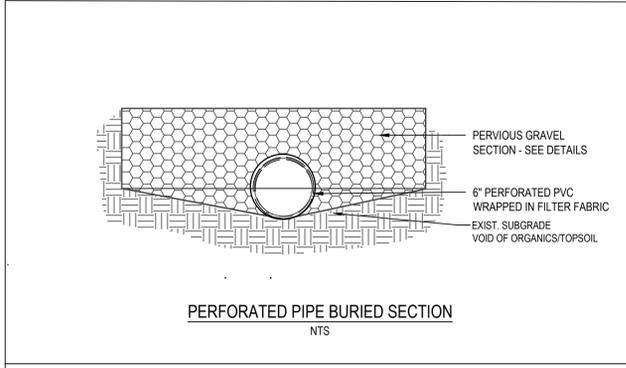
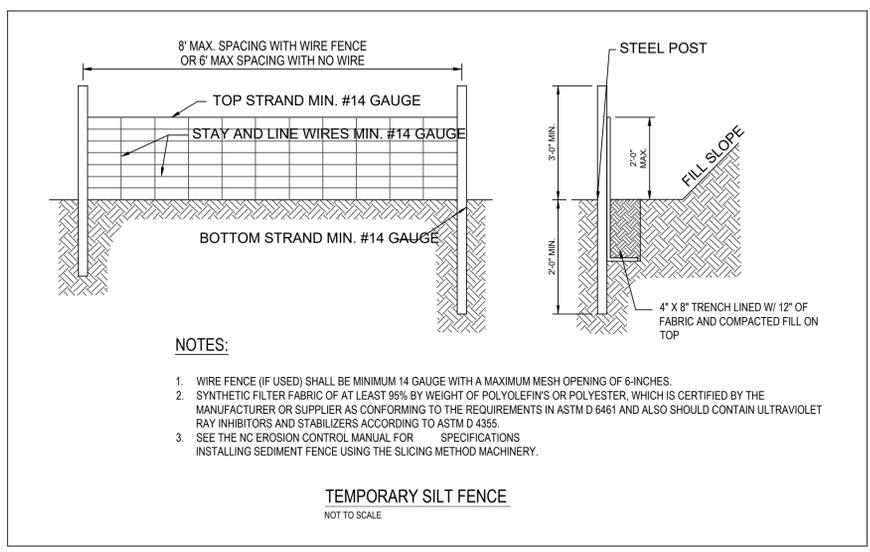
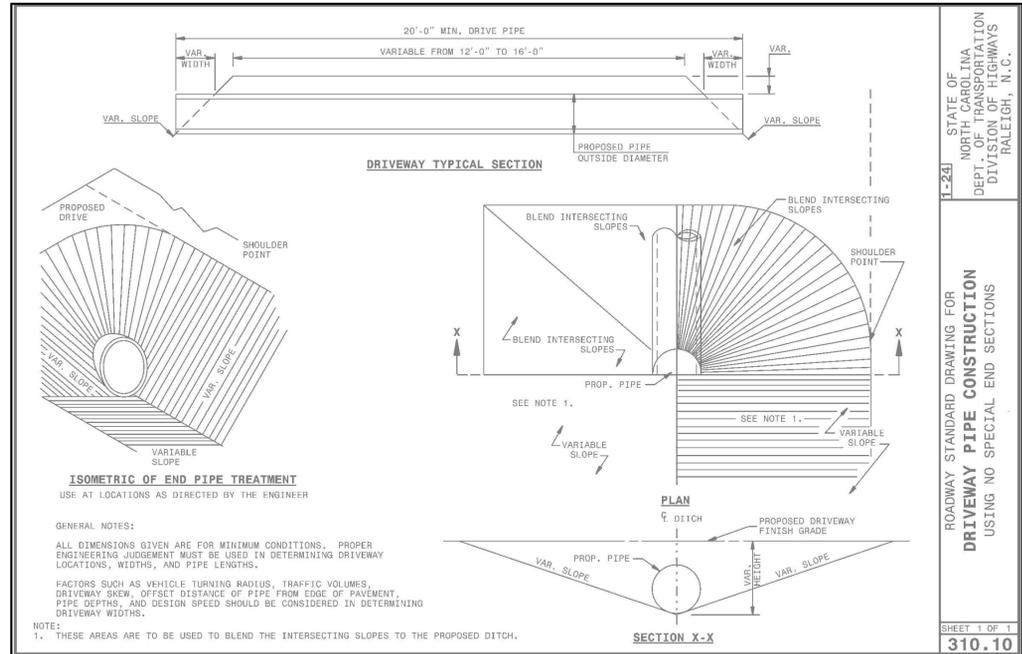
1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
3. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
4. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, ENGINEER, AND/OR ARCHITECT COUNTY.
5. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES. CALL NC-811.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
7. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.



- NOTES:**
- 1) FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED.
 - 2) THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE PIPE LOCATIONS WITH DOWNSPOUTS PER THE ARCHITECTURE PLANS. BUILDING CONTRACTOR IS NORMALLY RESPONSIBLE FOR EXTENDING DOWNSPOUT THROUGH CAP.
 - 3) INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURTENANCES.

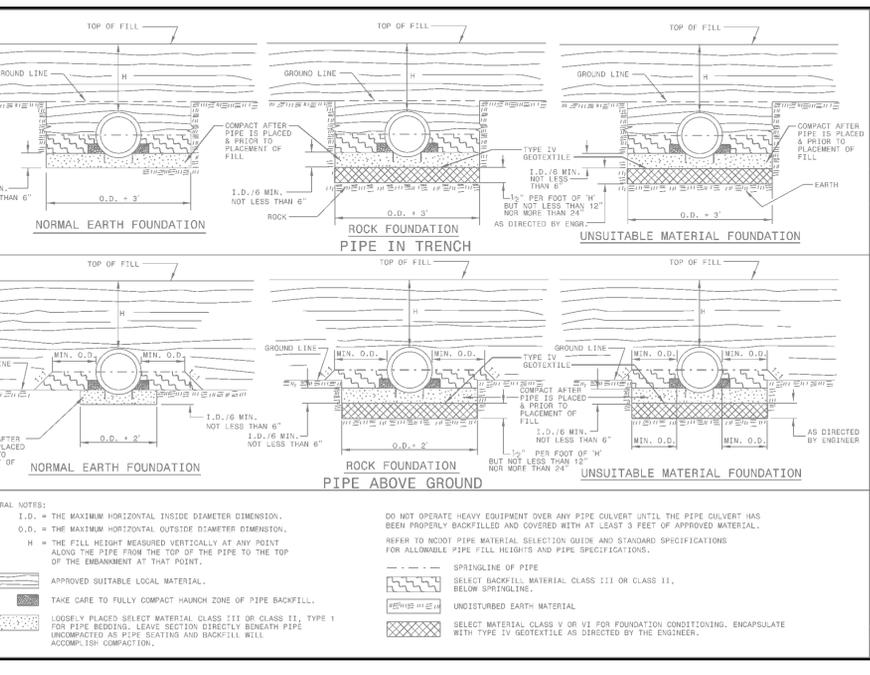
Schedule	
Downspout	Leader Pipe
2" x 3"	6" Dia
3" x 4"	6" Dia
4" x 5"	8" Dia
5" x 6"	8" Dia
6" x 6"	12" Dia
3/4" Dia	6" Dia
5/8" Dia	8" Dia

TYPICAL ROOF DRAINAGE WITH CLEANOUT
NOT TO SCALE



END TREATMENT DIMENSIONS							
D	L	W	T _s	T _b	T _e	A	B
15"	7'-6"	19"	4"	4"	6"	17 3/4"	20 7/8"
18"	9'-0"	23"	4"	4"	6"	21 1/4"	25"
24"	12'-6"	30"	4"	4"	6"	27 7/8"	32"

NOTES:
1. CONSTRUCT PIPE END SECTION USING #4 REBAR SPACED 9" EACH WAY AND MEET ALL REQUIREMENTS OF STD. SPEC. 310.
2. CHAMFER ALL EXPOSED CORNERS 3/4".



DOGWOOD LAND DEVELOPMENT
205 Sierra Dr
Wilmington, NC 28409
910-264-1071
6-2785

FARNELL SHINGLETON
12919 US HWY 17
HAMPSTEAD, NC 28443

US 17 BOAT STORAGE
12919 US HWY 17
HAMPSTEAD, NC 28443

SITE DETAILS

PROJ. NO. 25100.LLD
DRAWN BY: JBS
SCALE: NA
DATE: 3.20.25
SHEET: CD100
6 OF 6