

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information

Hawthorne @ Hampstead Commercial Major Site Development Plan

Case Number: SDP 2025-488

Application Type: Major Site Development Plan

Applicant: Becker Morgan

Owners: SP 101, LLC

Location: The subject property is located on the eastern side of US-17 between Hughes Road and Boardwalk Way in the Topsail Township.

Property ID #: 3282-74-1725-0000

Description: Becker Morgan is requesting the approval of a Major Site Development Plan for the development of two commercial buildings with sidewalks and parking areas.

Current Zoning: PD, Planned Development

Application Materials

Application
Site Plan

APPLICATION

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Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

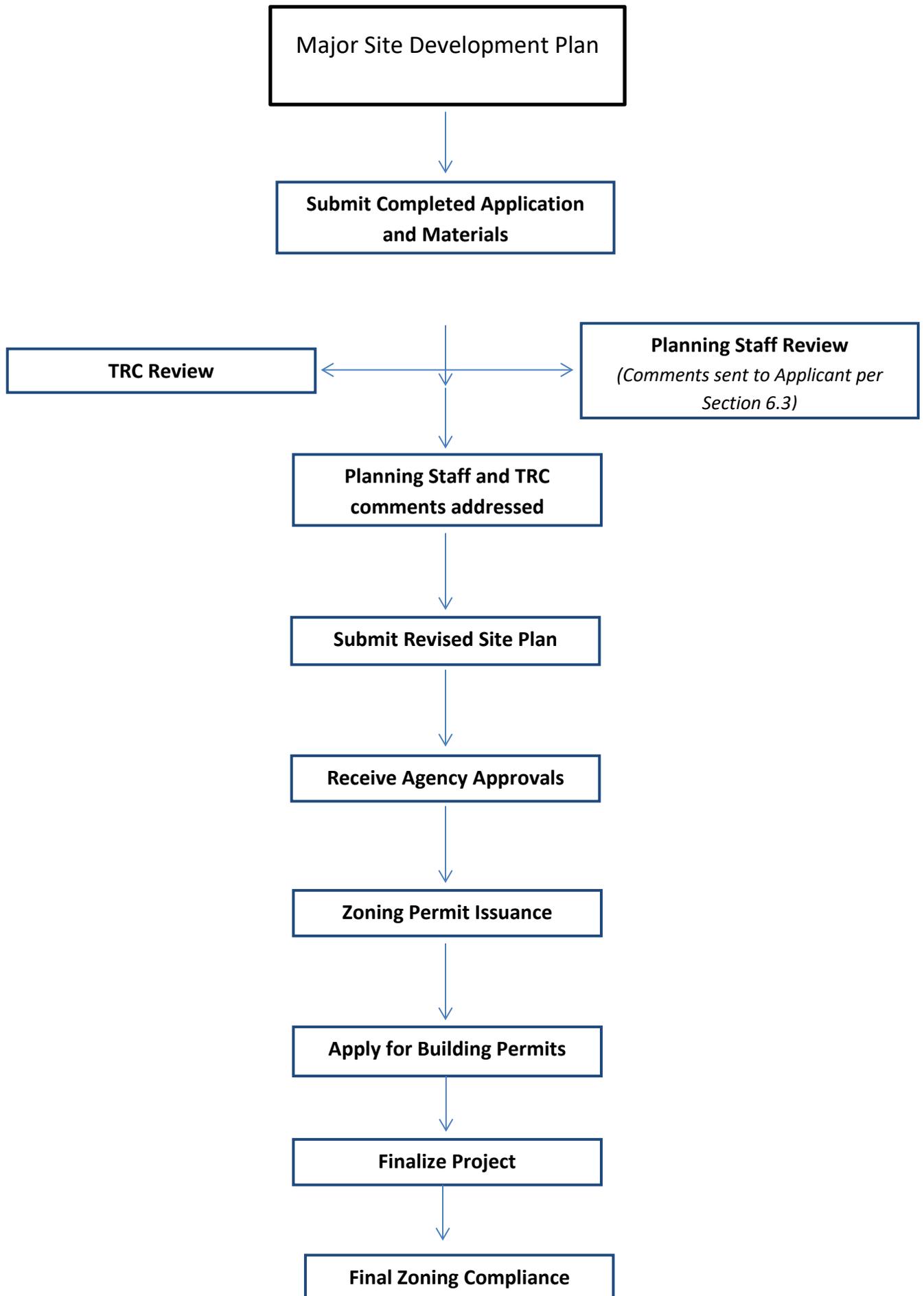
1. **Signed Application**
2. **Payment**
Invoice for \$250 application fee and initial stormwater review fee of \$400 will be generated upon receipt of application for online payment. **Do not include check with application.** Subsequent stormwater reviews will be charged at \$200 per review at time of resubmission.
3. **Paper Plan Sets**
Two (2) 24 x 36, Four (4) 11 x 17
4. **Digital Submission**
For all documents submitted in paper copy, provide a digital version. These may be emailed or uploaded to a share folder. **Physical media such as CD or USB drives will not be accepted.**
5. **List of Property Owners Within 500'**
A numbered list of names and addresses, as obtained from the county tax listings and tax abstract, **including the applicant, the owner, and owners of all properties** located within 500-feet of the perimeter of the project bounds as obtained from the county tax listings and tax abstract. Instructions to obtain list of addresses available on Pender County's website on the Planning and Community Development page.
6. **500' Buffer Property Envelopes**
The applicant shall provide a set of business envelopes **addressed to the applicant, the owner, and each of the owners of all properties** located within 500-feet of the perimeter of the project bounds and accompanied with first class postage adhered. Do not include return address or company branding on envelopes.
7. **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
8. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant Trevor H. M. Smith

Date 05/02/2025

Printed Name Trevor Smith



Specific requirements can be found in Section 6.3 of the Pender County Unified Development Ordinance

Major Site Development Plan Specific Requirements

1. Major Site Development Application Submittal

- Site Plan (per Section 6.3)
 - Scale
 - North Arrow
 - All property information (zoning, setbacks, PIN #)
 - Adjacent property info (owner, zoning, use, PIN #)
 - References to any previously approved plans
 - Utility providers
 - All existing and proposed structures
 - Buffering (Section 8.2.6) & Landscaping (8.3)
 - Parking (Section 7.10)
 - Lighting
 - Cross Access Connections (Section 7.4.4)
 - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
 - Soil Erosion and Sedimentation Control Plan
 - Location of all environmental features
 - Stormwater management features
 - Proposed accesses, easements, streets, and sidewalks
- Permits received

2. TRC Meeting

- Site Plan Review
- Agency comments/requirements

3. Post-TRC Meeting

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

4. Approval of Site Plan

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

5. Final Zoning

- Site Visit to check the following:
 - Landscaping
 - Buffering
 - Parking

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MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

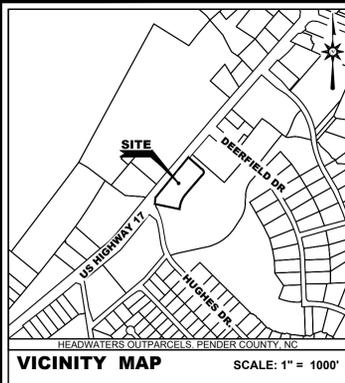
SECTION 1: GENERAL INFORMATION			
Applicant's Name:	Trevor Smith	Property Owner's Name:	SP 101, LLC
Applicant's Address:	3333 Jaeckle Drive, #120	Property Owner's Address:	1131-B Military Cutoff Road
City, State, & Zip	Wilmington, NC 28403	City, State, & Zip	Wilmington, NC 28405
Phone Number:	910-341-7600	Phone Number:	910-256-2211 x 1125
Email Address:	tsmith@beckermorgan.com	Email Address:	jason@swainassocaites.com
Legal relationship of applicant to landowner:	Engineer		
SECTION 2: PROJECT INFORMATION			
PIN (Property Id #):	3282-74-1725-0000	Total property acreage:	3.12 Acres
Zoning:	Residential Performance (RP)	Acreage to be disturbed:	3.23 Acres <small>3.12 Acres (Property Limits) 0.11 Acres (ROW)</small>
Water Provider:	Pender County Utilities	Wastewater Provider:	Pluris Holdings, LLC
Directions to Site:	1. Head north bound on US-17. 2. Turn right onto Boardwalk Way. 3. Turn right on Gem Shore Way.	Township:	Hampstead
Road Type:	Public/Private/Both	Private: Boardwalk Way & Gem Shore Way	
Sq Ft of Building: 23,225 SF (BLDG 1: 13,000 SF; BLDG 2: 10,225 SF)		Building Height: 28.0 FT	
Setbacks	Front: 25 FT	Side: 10 FT	Rear: 15 FT
NAICS Code/Use:	722511 (Full-Service Restaurant), 621210 (Dentist), 455219 (General Retailers)		
Business Name:	TBD		
Describe activities to be undertaken on project site:	Construction of two commercial out parcel buildings with sidewalks, parking areas and associated site infrastructure / utility improvements.		

SECTION 5: SIGNATURES			
Applicant's Signature	<i>Trevor H.M. Smith</i>	Date:	5/2/2025
Applicant's Name Printed	Trevor H.M. Smith	Date:	
Owner's Signature		Date:	4/14/2025
Owner's Name Printed	Jason Swain	Date:	

SITE PLAN

HEADWATERS: HAMPSTEAD OUTPARCELS

SITE DEVELOPMENT PLANS TAX PARCEL: 3282-74-1725-0000 PENDER COUNTY, NORTH CAROLINA



ARCHITECTURE
ENGINEERING

Delaware

Dover
302.734.7950

Newark
302.369.3700

Maryland

Salisbury
410.546.9100

North Carolina

Charlotte
980.270.9100

Raleigh
919.243.1332

Wilmington
910.341.7600

www.beckermorgan.com

NC License #: C-4743

SITE DATA

OWNER / DEVELOPER OF RECORD: SP 101, LLC
1131-B MILITARY CUTOFF ROAD
WILMINGTON, NC 28405

ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC.
3333 JAECKLE DRIVE, SUITE 120
WILMINGTON, NC 28403
910.341.7600

SITE ADDRESS: 76 & 38 GEM SHORE WAY

PARCEL IDENTIFICATION # (PIN): 3282-74-1725-0000

ZONING CLASSIFICATION: EXISTING: RESIDENTIAL PERFORMANCE (RP)
PROPOSED: RESIDENTIAL PERFORMANCE (RP)

DEED SUMMARY: 4838/1898

PLAT REFERENCE: 00710140

PRESENT USE: VACANT LAND

PROPOSED USE: RESTAURANTS / RETAIL SALES & SERVICES / OFFICE SPACE

TOTAL SITE AREA: 3.124 ACRES

PROPOSED BUILDING: BUILDING 1: 13,000 S.F. (1-STORY)
BUILDING 2: 10,225 S.F. (1-STORY)

PARKING CALCULATIONS: RESTAURANT (1 SPACE PER 100 S.F.)
REQUIRED: 10,436 S.F. / 100 S.F. = 104.4 = 105 SPACES
RETAIL SALES & SERVICE (1 SPACE PER 225 S.F.)
REQUIRED: 8,513 S.F. / 225 = 37.83 SPACES = 38 SPACES
OFFICE SPACE (1 SPACE PER 300 S.F.)
REQUIRED: 5,699 S.F. / 300 = 18.99 SPACES = 19 SPACES
TOTAL REQUIRED = 162
PROVIDED = 172 TOTAL (150 OFF-STREET PARKING & 22 ON-STREET PARKING)
HANDICAP PARKING SPACES: 6 SPACES PROVIDED

SURVEY BENCHMARK: NAIL SET
ELEV: N/A
DATUM: NAVD 88

FEMA FIRMEETTE: AREA OF MINIMAL FLOOD HAZARD - ZONE X (3720328200K - 1/17/2025)

SITE SIGNAGE: SUBJECT TO ARTICLE 9 OF THE PENDER COUNTY UDO (FUTURE PERMIT SUBMISSION)

SITE LIGHTING: SUBJECT TO ARTICLE 7.11 OF THE PENDER COUNTY UDO

SETBACKS: RESIDENTIAL PERFORMANCE (RP)
FRONT: 25 FT.
SIDE: 10 FT.
REAR: 15 FT.

LANDSCAPE AND BUFFER REQUIREMENT: ALONG NON-STREET BOUNDARIES: BUFFER A
ALONG STREET BOUNDARIES: BUFFER B

BUILDING HEIGHT: PERMITTED: 35' MAX
PROPOSED: 35' MAX

BUILDING TYPE: COMMERCIAL
SOURCE OF WATER: PENDER COUNTY

SOURCE OF SEWER: PLURIS

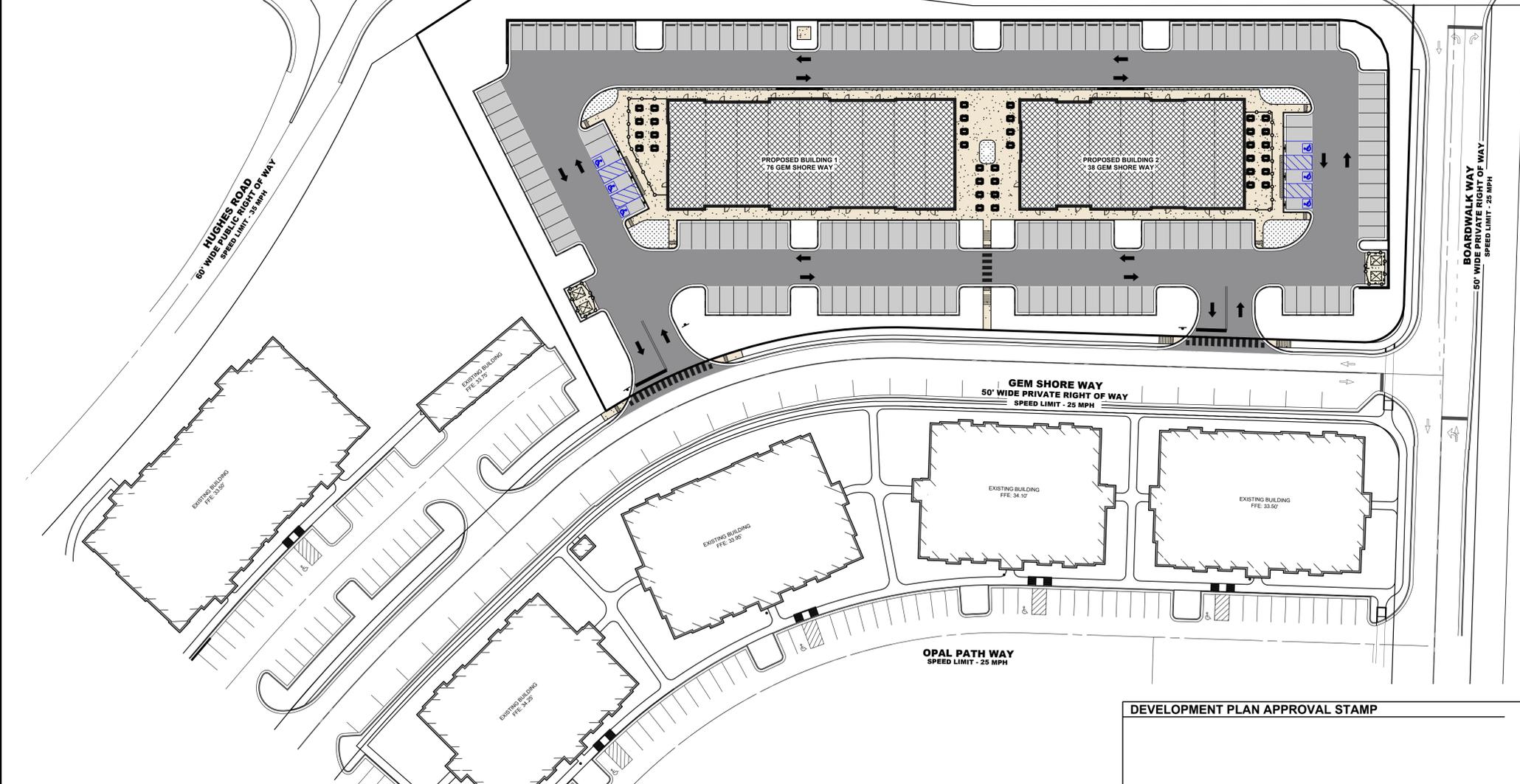
SOURCE OF GAS: PIEDMONT NATURAL GAS

SOURCE OF ELECTRIC: DUKE ENERGY

ESTIMATED TRIP GENERATION: RESTAURANT - ITE CODE 932
AM PEAK: TOTAL TRIPS: 162 (92 ENTRY - 70 EXIT)
PM PEAK: TOTAL TRIPS: 194 (99 ENTRY - 95 EXIT)
24 HOUR VOLUMES: 1,269 (635 ENTRY - 634 EXIT)
DENTIST - ITE CODE 729
AM PEAK: TOTAL TRIPS: 16 (9 ENTRY - 7 EXIT)
PM PEAK: TOTAL TRIPS: 20 (8 ENTRY - 12 EXIT)
24 HOUR VOLUMES: 151 (76 ENTRY - 75 EXIT)
RETAIL - ITE CODES 822
AM PEAK: TOTAL TRIPS: 54 (27 ENTRY - 27 EXIT)
PM PEAK: TOTAL TRIPS: 95 (51 ENTRY - 44 EXIT)
24 HOUR VOLUMES: 531 (266 ENTRY - 265 EXIT)

GENERAL NOTES:

- TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY IN MARCH 2025. VERTICAL DATUM IS BASED ON NAVD83.
- THIS PROJECT IS A PART OF THE HEADWATERS: HAMPSTEAD MASTER PLAN (MPD 2021-30) APPROVED IN 2021. CONDITIONS OF MASTER PLAN APPROVAL HAVE BEEN ADDED TO THIS SHEET.
- THE APPLICANT SHALL BE REQUIRED TO SUBMIT LOW IMPACT DEVELOPMENT DESIGN CERTIFICATIONS IN ACCORDANCE WITH SECTION 7.14 OF THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE PRIOR TO RECEIVING ZONING APPROVAL FOR ANY PHASE OF THE PROPOSED DEVELOPMENT.
- IN ACCORDANCE WITH SECTION 7.9 OF THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE, THE APPLICANT SHALL BE REQUIRED TO SUBMIT STORMWATER CERTIFICATIONS WITH UPDATES TO REFERENCE THE PROPOSED PRE-POST RETENTION STANDARD.
- THE APPLICANT SHALL BE REQUIRED TO SUBMIT AN UPDATED SIGNIFICANT TREE SURVEY AND MITIGATION PLAN PRIOR TO ISSUANCE OF ZONING APPROVAL FOR ANY PORTION OF THE SITE.
- THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE SPECIES AND LOCATION OF NATIVE VEGETATION ON ALL SUBMITTED SITE DEVELOPMENT PLANS OR PRELIMINARY PLATS.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY RESIDENTIAL BUILDING, ALL ROADWAYS SHALL BE INSTALLED AND CERTIFIED IN ACCORDANCE WITH THE STANDARDS FOR SUCH FOUND WITHIN THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- THE NON-RESIDENTIAL OUTPARCELS SHALL INCLUDE PEDESTRIAN FACILITIES THAT PROVIDE EFFECTIVE PEDESTRIAN LINKAGES TO THE RESIDENTIAL COMPONENT OF THIS PROJECT AND THE SURROUNDING COMMUNITY AS A WHOLE.
- PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED ALONG THE PORTIONS OF HUGHES ROAD AND DEERFIELD DRIVE THAT BORDER THE PROPOSED DEVELOPMENT.
- A PEDESTRIAN EASEMENT SHALL BE REQUIRED ALONG US HWY 17 IN ADVANCE OF THE U-5732 HAMPSTEAD MEDIAN PROJECT, WHICH WILL INCLUDE SIDEWALKS ALONG BOTH SIDES OF US HWY 17 AT THE TIME OF CONSTRUCTION. ALL SIDEWALKS AND MULTI-USE PATHS WITHIN THE DEVELOPMENT SHALL BE MAINTAINED BY THE DEVELOPMENT, UNLESS THEY ARE PROPOSED WITHIN A CURRENT OR FUTURE NCDOT RIGHT-OF-WAY. A TRI-PARTY AGREEMENT SHALL BE REQUIRED FOR SUCH FACILITIES WITHIN NCDOT RIGHTS-OF-WAY.
- PARCELS 1-3 SHALL ONLY BE ACCESSED INTERNALLY TO THE DEVELOPMENT; NO DIRECT ACCESS TO THESE PARCELS FROM US HWY 17 SHALL BE PERMITTED.
- A TYPE C-3 BUFFER SHALL BE LOCATED AROUND THE PERIMETER OF THE PROPOSED PUMP STATION.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (1-800-632-4949) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- THIS AREA OF DEVELOPMENT IS NOT IMPACTED BY THE 100 YEAR FLOOD PLAN AS SHOWN ON FIRM #3720328200K, EFFECTIVE 01/17/2025.
- SIGNAGE TO BE PROVIDED UNDER A SEPARATE PERMIT CONSISTENT WITH ARTICLE 9 OF THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO).
- LANDSCAPE & BUFFER REQUIREMENTS TO MEET THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO) ARTICLE 8 REQUIREMENTS. SEE LANDSCAPE PLAN SHEET L-001 FOR DETAILS.
- WETLANDS ARE NOT ANTICIPATED TO BE PRESENT IN THE IMPROVED AREA.
- ALL ROADS, PARKING AND OTHER PAVED AREAS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
- NORTH CAROLINA REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
- ALL HANDICAPPED PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE "AMERICAN WITH DISABILITIES ACT" OF 1990.
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT" OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- BEFORE THE CONTRACTOR CAN BEGIN CONSTRUCTION THEY MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM PENDER COUNTY, PLURIS, NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEQ), NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AND APPROPRIATE STATE AGENCIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO PENDER COUNTY, STATE OF NORTH CAROLINA AND ANY OTHER APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR TO TAKE CARE DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, REALIGNMENTS, DISCONNECTIONS, OR CONNECTION OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
- CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, GUTTER, ASPHALT, AND ANY OTHER STRUCTURES NECESSARY FOR SITE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS OF ALL BUILDINGS WITH THE OWNER.
- ALL HANDICAPPED PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH "AMERICAN WITH DISABILITIES ACT" & THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO PENDER COUNTY STANDARDS.
- MINIMUM SEPARATION OF UTILITIES SHALL BE MAINTAINED AS FOLLOWS:
20.1. HORIZONTAL SEPARATION OF TEN (10) FEET BETWEEN SANITARY SEWER AND WATER MAINS AND STORM SEWER.
20.2. SEWER MAINS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF TWENTY-FOUR (24) INCHES BETWEEN SANITARY SEWER AND STORM DRAIN.
20.3. WHERE SEWER MAINS CROSS BENEATH WATER MAINS WITH A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES OR LESS, OR WHERE WATER MAINS CROSS UNDER SEWER MAINS, THE ENTIRE LEG OF THE SEWER MAIN SHALL BE DIE AND THE VOID SPACE BETWEEN THE PIPE CROSSING SHALL BE BACKFILLED WITH SUITABLE FILL THAT MEETS OR EXCEEDS NCDOT SPECIFICATIONS. THE WATER MAIN SHALL BE CENTERED AT THE POINT OF CROSSING, WHICH SHALL BE AT AN APPROXIMATE 90-DEGREE ANGLE.



LEGEND					
ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER	[Symbol]	[Symbol]	SANITARY GRAVITY SEWER LINE (S)	[Symbol]	[Symbol]
CONCRETE SIDEWALK, SLAB / PAVING	[Symbol]	[Symbol]	SANITARY SEWER FORCE MAIN (F.M.)	[Symbol]	[Symbol]
IMPERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE (S.M.H.)	[Symbol]	[Symbol]
INDIVIDUAL TREE OR BUSH	[Symbol]	[Symbol]	SANITARY SEWER CLEANOUT (C.O.)	[Symbol]	[Symbol]
WIRE FENCE	[Symbol]	[Symbol]	WATER MAIN & SIZE	[Symbol]	[Symbol]
CHARLEK: FENCE	[Symbol]	[Symbol]	FIRE HYDRANT (F.H.)	[Symbol]	[Symbol]
STOCKADE FENCE	[Symbol]	[Symbol]	WATER VALVE (W.V.) OR METER (W.M.)	[Symbol]	[Symbol]
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	[Symbol]	[Symbol]	STORM DRAIN MANHOLE (S.D.M.H.)	[Symbol]	[Symbol]
DRAINAGE DITCH OR SWALE	[Symbol]	[Symbol]	STORM DRAIN LINE (CMP, RCP, HDPE)	[Symbol]	[Symbol]
WETLAND BOUNDARY LINE	[Symbol]	[Symbol]	CATCH BASIN (C.B.)	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]	UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE (O.T.), ELECTRIC (O.E.))	[Symbol]	[Symbol]
ELEVATION SPOT SHOT	[Symbol]	[Symbol]	UNDERGROUND ELECTRIC (U.E.)	[Symbol]	[Symbol]
BENCH MARK	[Symbol]	[Symbol]	UNDERGROUND TELEPHONE (U.T.)	[Symbol]	[Symbol]
PROPERTY OR RIGHT-OF-WAY LINE	[Symbol]	[Symbol]	UNDERGROUND GAS MAIN (G)	[Symbol]	[Symbol]
CENTERLINE	[Symbol]	[Symbol]			
LIGHT POLE	[Symbol]	[Symbol]			

SHEET INDEX	
CONSTRUCTION PLANS	
COVER SHEET	
C-001	COVER SHEET & OVERALL LAYOUT
EXISTING CONDITIONS AND DEMOLITION PLANS	
C-101	BOUNDARY & EXISTING CONDITIONS PLAN
SITE PLANS	
C-201	SITE PLAN
UTILITY PLANS	
C-301	UTILITIES PLAN
GRADING PLANS	
C-401	GRADING PLAN
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EROSION & SEDIMENT CONTROL PLANS	
C-500	EROSION & SEDIMENT CONTROL COVER SHEET
C-501	PRE-CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
C-501EC	PRE-CONSTRUCTION EROSION & SEDIMENT CONTROL DRAINAGE PLAN
C-502	POST-CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
C-502EC	POST-CONSTRUCTION EROSION & SEDIMENT CONTROL DRAINAGE PLAN
C-503	EROSION & SEDIMENT CONTROL DETAILS
C-504	EROSION & SEDIMENT CONTROL DETAILS
STORMWATER MANAGEMENT PLANS	
SWM-PRE	PRE-DEVELOPED STORMWATER DRAINAGE AREA PLAN
SWM-POST	POST-DEVELOPED STORMWATER DRAINAGE AREA PLAN

DEVELOPMENT PLAN APPROVAL STAMP

PENDER COUNTY ADMINISTRATOR SIGNATURE _____ DATE _____

SITE PLAN VALID FOR TWO (2) YEARS AFTER APPROVAL DATE

OWNERS CERTIFICATION

WE, SP 101, LLC, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____

ENGINEERS CERTIFICATION

I, J. MICHAEL RIEMANN, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF NORTH CAROLINA, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF NORTH CAROLINA.

J. MICHAEL RIEMANN P.E. NO. 13772 DATE _____

PROJECT TITLE

HEADWATERS: HAMPSTEAD OUTPARCELS

HAMPSTEAD PENDER COUNTY, NC

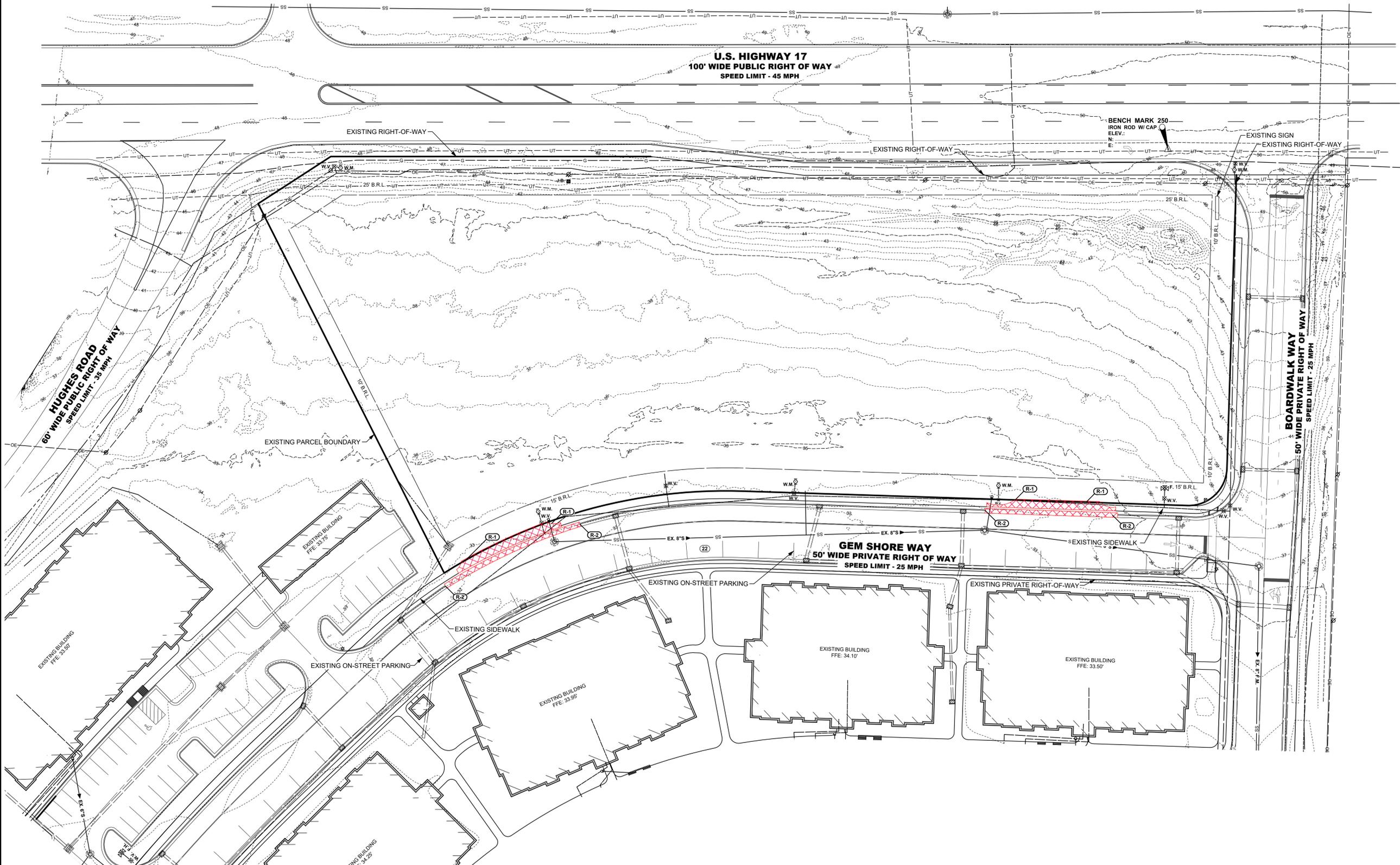
SHEET TITLE

COVER SHEET



ISSUE BLOCK

NO.	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION
MARK DATE DESCRIPTION		
LAYER/STATE/COORD		
PROJECT NO.: 2023315.00		
DATE: 04-18-2025		
SCALE: 1" = 40'		
DRAWN BY: J.P.G. PROJ. MGR.: T.H.M.S.		
SHEET		
C-001		
COPYRIGHT: 2023		



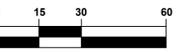
PROJECT TITLE

**HEADWATERS:
HAMPSTEAD
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

SHEET TITLE

**EXISTING
CONDITIONS AND
DEMOLITION PLAN**



SCALE: 1" = 30'

ISSUE BLOCK

NO.	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION

MARK	DATE	DESCRIPTION
LAYER/STATE	C-101	

PROJECT NO.: 2023315.00

DATE: 12-10-2024

SCALE: 1" = 30'

DRAWN BY: J.P.G. | PROJ. MGR.: T.H.M.S.

SHEET

C-101

COPYRIGHT: 2023

DEMOLITION CONSTRUCTION NOTES

- R-1 REMOVE EXISTING SIDEWALK AT LOCATIONS SHOWN. SEE C-201 FOR PROPOSED SIDEWALK LOCATIONS.
- R-2 REMOVE EXISTING CURB & GUTTER AT LOCATIONS SHOWN. SEE C-201 FOR PROPOSED CURB TIE INS.

NOTE: CONTRACTOR TO TAKE CAUTION IN REMOVAL OF EXISTING FEATURES PROPOSED BY THIS PLAN WHEN EXISTING UTILITIES ARE UNDERNEATH THE CONSTRUCTION AREAS.

PROJECT TITLE

**HEADWATERS:
HAMPSTEAD
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

SHEET TITLE

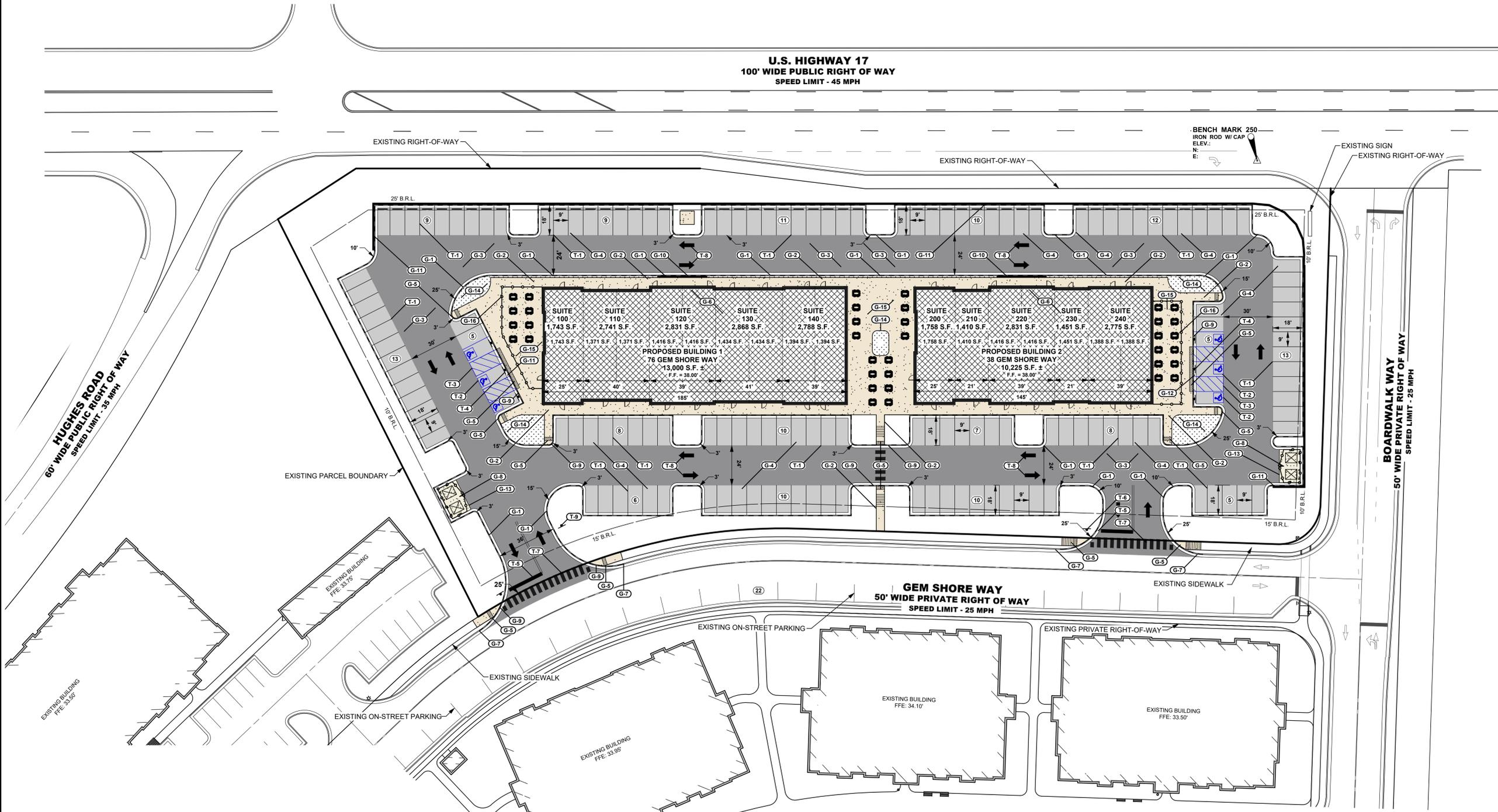
SITE PLAN



ISSUE BLOCK

MARK	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION
LAYERSTATE: C-001		
PROJECT NO.:		2023315.00
DATE:		12-10-2024
SCALE:		1" = 30'
DRAWN BY:		J.P.G. PROJ. MGR.: T.H.M.S
SHEET		
C-201		
COPYRIGHT: 2023		

U.S. HIGHWAY 17
100' WIDE PUBLIC RIGHT OF WAY
SPEED LIMIT - 45 MPH



GENERAL CONSTRUCTION NOTES

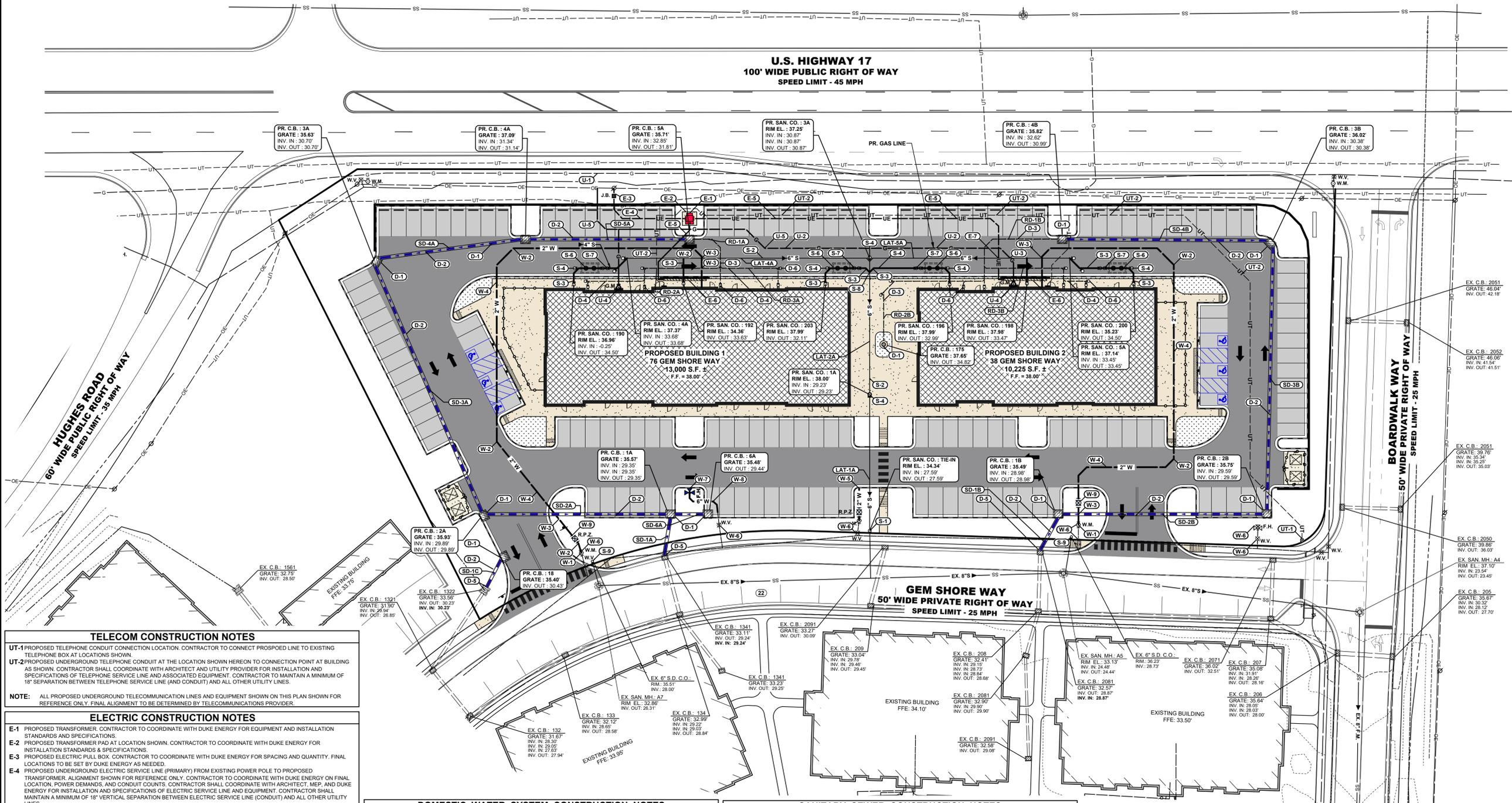
- G-1** PROPOSED 6" TALL INTEGRAL CURB & GUTTER. SEE DETAIL ON SHEET C-901.
- G-2** PROPOSED 4" THICK CONCRETE SIDEWALK. (WIDTH VARIES. SEE THIS SHEET.) SEE DETAIL ON SHEET C-901.
- G-3** PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT. SEE DETAIL ON SHEET C-901.
- G-4** PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT. SEE DETAIL ON SHEET C-901.
- G-5** PROPOSED ACCESSIBLE RAMP WITH DETECTABLE WARNING PADS. SEE DETAIL ON SHEET C-901.
- G-6** PROPOSED BUILDINGS. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS.
- G-7** PROPOSED TIE INTO EXISTING CURB AT LOCATIONS SHOWN.
- G-8** PROPOSED DUMPSTER ENCLOSURE. SEE SHEET C-901 FOR DETAIL.
- G-9** PROPOSED CURB TAPER AT LOCATIONS SHOWN AT LOCATIONS SHOWN. SEE DETAIL ON SHEET C-901.
- G-10** PROPOSED MASONRY SCREENING WALL. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS.
- G-11** PROPOSED REINFORCED CONCRETE RETAINING WALL. SEE SHEET C-901 FOR WALL DETAILS AND SPECIFICATIONS. SEE SHEET C-401 FOR HEIGHTS AND GRADING. CONTRACTOR TO REFERENCE STRUCTURAL WALL DETAILS FOR PROPOSED UTILITY CROSSINGS ALONG WALL ALIGNMENT. CONTRACTOR TO PROVIDE THROUGH WALL FITTINGS OR GO BENEATH WALL FOUNDATION AS CALLED OUT ON STRUCTURAL DETAILS.
- G-12** PROPOSED CONCRETE FILLED BOLLARDS AT LOCATIONS SHOWN (TYP.) SEE SHEET C-901 FOR DETAILS (TOTAL #7#7#7#7).
- G-13** PROPOSED CONCRETE PADS IN DUMPSTER AREA & ELECTRICAL TRANSFORMER PAD AREAS.
- G-14** PROPOSED PLANTING BED. SEE LANDSCAPE PLANS FOR DETAIL.
- G-15** PROPOSED OUTDOOR SEATING AREA. FINAL LAYOUT TO BE COORDINATED WITH OWNER.
- G-16** PROPOSED ORNAMENTAL FENCING AT LOCATIONS SHOWN ON THIS PLAN. CONTRACTOR TO COORDINATE WITH OWNER ON DESIGN.

STRIPING & SIGNAGE CONSTRUCTION NOTES

- T-1** PROPOSED PAINTED PARKING SPACE STRIPING - 4" WIDE SOLID WHITE LINE (TYP.)
- T-2** PROPOSED PAINTED HANDICAP ACCESSIBLE SYMBOL. SEE ACCESSIBLE SYMBOL DETAIL ON SHEET C-901.
- T-3** PROPOSED PAINTED STRAIGHT LINE AND 45° CROSS-HATCH STRIPING - 4" ON CENTER SPACING WIDE SOLID WHITE LINE (TYP.) SEE ACCESSIBLE PARKING PLAN DETAIL ON SHEET C-901.
- T-4** PROPOSED ACCESSIBLE PARKING SIGN (TYP.) SEE ACCESSIBLE PARKING SIGN DETAIL ON SHEET C-901. (5 TRADITIONAL ADA SPACES, 1 VAN SPACE).
- T-5** PROPOSED WHITE THERMO STOP BAR - 16" WIDE.
- T-6** PROPOSED "STOP" SIGN. CONTRACTOR TO INSTALL PER PENDER COUNTY AND NCDOT STANDARDS AND SPECIFICATION. SEE DETAIL ON SHEET C-901.
- T-7** PROPOSED PAINTED THERMO PEDESTRIAN CROSSWALK. CROSSWALK TO BE INSTALLED PER PENDER COUNTY STANDARDS AND SPECIFICATIONS.
- T-8** PROPOSED THERMO DIRECTIONAL WHITE ARROW IN ACCORDANCE WITH PENDER COUNTY AND NCDOT STANDARD AND SPECIFICATIONS. SEE SHEET C-901 FOR DETAIL.
- T-9** PROPOSED DELIVERY TRUCK ACCESS SIGNAGE AT LOCATIONS SHOWN.

PAVEMENT SECTIONS LEGEND

- PROPOSED FULL DEPTH "HEAVY" DUTY PAVEMENT (SEE SHEET C-905 FOR PAVEMENT SECTION)
- PROPOSED FULL DEPTH "LIGHT" DUTY PAVEMENT (SEE SHEET C-905 FOR PAVEMENT SECTION)



TELECOM CONSTRUCTION NOTES

UT-1 PROPOSED TELEPHONE CONDUIT CONNECTION LOCATION. CONTRACTOR TO CONNECT PROPOSED LINE TO EXISTING TELEPHONE BOX AT LOCATIONS SHOWN.

UT-2 PROPOSED UNDERGROUND TELEPHONE CONDUIT AT THE LOCATION SHOWN HEREON TO CONNECTION POINT AT BUILDING AS SHOWN. CONTRACTOR TO COORDINATE WITH ARCHITECT AND UTILITY PROVIDER FOR INSTALLATION AND SPECIFICATIONS OF TELEPHONE SERVICE LINE AND ASSOCIATED EQUIPMENT. CONTRACTOR TO MAINTAIN A MINIMUM OF 18" SEPARATION BETWEEN TELEPHONE SERVICE LINE (AND CONDUIT) AND ALL OTHER UTILITY LINES.

NOTE: ALL PROPOSED UNDERGROUND TELECOMMUNICATION LINES AND EQUIPMENT SHOWN ON THIS PLAN SHOWN FOR REFERENCE ONLY. FINAL ALIGNMENT TO BE DETERMINED BY TELECOMMUNICATIONS PROVIDER.

ELECTRIC CONSTRUCTION NOTES

E-1 PROPOSED TRANSFORMER. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR EQUIPMENT AND INSTALLATION STANDARDS AND SPECIFICATIONS.

E-2 PROPOSED TRANSFORMER PAD AT LOCATION SHOWN. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR INSTALLATION STANDARDS & SPECIFICATIONS.

E-3 PROPOSED ELECTRIC PULL BOX. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR SPACING AND QUANTITY. FINAL LOCATIONS TO BE SET BY DUKE ENERGY AS NEEDED.

E-4 PROPOSED UNDERGROUND ELECTRIC SERVICE LINE (PRIMARY) FROM EXISTING POWER POLE TO PROPOSED TRANSFORMER. ALIGNMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH DUKE ENERGY ON FINAL LOCATION, POWER DEMANDS, AND CONDUIT COUNTS. CONTRACTOR SHALL COORDINATE WITH ARCHITECT, MEP, AND DUKE ENERGY FOR INSTALLATION AND SPECIFICATIONS OF ELECTRIC SERVICE LINE AND EQUIPMENT. CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN ELECTRIC SERVICE LINE (AND CONDUIT) AND ALL OTHER UTILITY LINES.

E-5 PROPOSED UNDERGROUND ELECTRIC SERVICE LINE (SECONDARY) FROM PROPOSED TRANSFORMER TO ELECTRICAL TROUGH ON MASONRY SCREENING WALL. ALIGNMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH DUKE ENERGY ON FINAL LOCATION, POWER DEMANDS, AND CONDUIT COUNTS. CONTRACTOR SHALL COORDINATE WITH ARCHITECT, MEP, AND DUKE ENERGY FOR INSTALLATION AND SPECIFICATIONS OF ELECTRIC SERVICE LINE AND EQUIPMENT. CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN ELECTRIC SERVICE LINE (AND CONDUIT) AND ALL OTHER UTILITY LINES.

E-6 PROPOSED ELECTRICAL TROUGH. CONTRACTOR TO COORDINATE WITH ARCHITECT ON MASONRY SCREENING WALL DETAILS AND MEP FOR ELECTRICAL CONNECTIONS AND EQUIPMENT.

E-7 CONTRACTOR TO PROVIDE 18" MINIMUM SEPARATION BETWEEN UNDERGROUND ELECTRICAL AND ALL OTHER UTILITIES.

NOTE: ALL PROPOSED UNDERGROUND ELECTRICAL LINES AND EQUIPMENT SHOWN ON THIS PLAN SHOWN FOR REFERENCE ONLY. FINAL ALIGNMENT TO BE DETERMINED BY DUKE ENERGY.

GAS CONSTRUCTION NOTES

U-1 PROPOSED GAS MAIN TAPPING. LOCATION, FINAL LOCATION TO BE SET BY PIEDMONT NATURAL GAS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING GAS MAIN PRIOR TO CONSTRUCTION AND COORDINATE WITH PIEDMONT NATURAL GAS FOR APPROPRIATE TAPPING METHODS AND PROCEDURES.

U-2 INSTALL GAS SERVICE LINE. FINAL MATERIAL, ALIGNMENT, DEPTH, AND SIZE TO BE SET BY PIEDMONT NATURAL GAS. CONTRACTOR TO INSTALL GAS MAIN PER PENDER COUNTY UTILITIES AND PIEDMONT NATURAL GAS STANDARDS.

U-3 PROVIDE APPROPRIATE VERTICAL SEPARATION BETWEEN PROPOSED GAS LINE AND OTHER EXISTING & PROPOSED UTILITIES PER PENDER COUNTY UTILITIES AND PIEDMONT NATURAL GAS STANDARDS.

U-4 PROPOSED GAS METER SETUP AT BUILDING. SEE MEP PLANS FOR DETAILS. CONTRACTOR TO COORDINATE WITH PIEDMONT NATURAL GAS PRIOR TO CONSTRUCTION ON METER SETUP AND INSTALLATION.

U-5 PROPOSED GAS LINE BENDS PER PIEDMONT NATURAL GAS STANDARDS. CONTRACTOR TO COORDINATE FINAL ALIGNMENT PRIOR TO CONSTRUCTION.

DOMESTIC WATER SYSTEM CONSTRUCTION NOTES

W-1 ADD 2" WATER METER TO EXISTING WATER METER BOX SETUP AT THE LOCATION SHOWN. CONTRACTOR TO PROVIDE A WATERTIGHT SEAL AND INSTALL PER PENDER COUNTY UTILITIES STANDARDS. CONTRACTOR TO COORDINATE WITH PENDER COUNTY UTILITIES PRIOR TO CONSTRUCTION TO OBTAIN METER AND CONFIRM INSTALLATION METHODS AND MATERIALS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES.

W-2 CONTRACTOR TO INSTALL 11.25", 22.5", OR 45" FITTINGS AT WATER SERVICE BENDS PER PENDER COUNTY UTILITIES STANDARDS.

W-3 DEPRESS PROPOSED WATER SERVICE LINE USING FUSED HOPE 45" VERTICAL BENDS IN ORDER TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER, STORM DRAIN, AND OTHER UTILITIES AT ALL CROSSINGS, IN ACCORDANCE WITH PENDER COUNTY UTILITIES STANDARDS. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION IF WATER LINE DEPRESSION IS NEEDED AT POTENTIAL CONFLICT POINTS AND NOTIFY ENGINEER. SEE DETAIL, SHEET C-902.

W-4 INSTALL 2" POLYETHYLENE SDR 9 DOMESTIC WATER SERVICE CONNECTION FROM EXISTING METER BOX TO PROPOSED BUILDING. SEE MEP & ARCHITECTURAL PLANS FOR UTILITY CONNECTION INFORMATION. SEE DETAIL, SHEET C-902. (MINIMUM PIPE COVER 3 FT.)

W-5 PROPOSED 2" POLYETHYLENE IRRIGATION WATER SERVICE LINE STUB PER PENDER COUNTY UTILITIES STANDARDS AND SPECIFICATIONS. IRRIGATION CONTRACTOR TO DETERMINE FINAL LOCATION ALIGNMENT PER PENDER COUNTY UTILITIES STANDARDS & SPECIFICATIONS.

W-6 CONTRACTOR TO BRING EXISTING WATER METER VALVE AND FIRE HYDRANTS TO PROPOSED GRADE USING EXTENSIONS & RISERS AS NECESSARY PER PENDER COUNTY UTILITIES STANDARDS AND SPECS.

W-7 CONTRACTOR TO RELOCATE EXISTING FIRE HYDRANT TO LOCATION SHOWN PER PENDER COUNTY UTILITIES STANDARDS AND SPECS. SEE FIRE HYDRANT ASSEMBLY DETAIL SHEET C-902.

W-8 CONTRACTOR TO EXTEND EXISTING 6" FIRE WATER LINE TO RELOCATED FIRE HYDRANT. CONTRACTOR TO VERIFY EXISTING WATER LINE DEPTH, SIZE, AND LOCATION AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

W-9 INSTALL RPZ BACKFLOW PREVENTER IN "HOTBOX" PER PENDER COUNTY UTILITIES STANDARDS. R.P.Z. SIZE TO MATCH PROPOSED WATER METER, WATER MAIN, OR AS CALLED OUT ON THIS SHEET.

SANITARY SEWER CONSTRUCTION NOTES

S-1 CONNECT PROPOSED 6" PVC 1120, SCHEDULE 40 SANITARY SEWER LATERAL TO EXISTING CLEANOUT AT THE INVERTS AND LOCATIONS SHOWN. CONTRACTOR TO PROVIDE A WATERTIGHT SEAL AND INSTALL PER PLURIS STANDARDS AND SPECS. CONTRACTOR TO VERIFY LOCATIONS AND INVERTS OF EXISTING CLEANOUTS PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF PLAN AND FIELD DATA DIFFER. CONTRACTOR TO BRING EXISTING CLEANOUT TO PROPOSED GRADE USING EXTENSIONS AS NECESSARY PER PLURIS STANDARDS AND SPECIFICATIONS. SEE DETAIL, SHEET C-903.

S-2 INSTALL 6" PVC 1120, SCHEDULE 40 SANITARY SEWER LATERAL. SEE PIPE SCHEDULES THIS SHEET FOR SIZE, MATERIAL, INVERT, AND SLOPE INFORMATION. SEE PSD NO. 17 & 17A DETAIL ON SHEET C-903. (MIN. SLOPE 1.00%, MIN. COVER 36")

S-3 INSTALL 4" PVC 1120, SCHEDULE 40 SANITARY SEWER LATERAL. SEE SEWER PIPE SCHEDULES THIS SHEET FOR SIZE, MATERIAL, INVERT, AND SLOPE INFORMATION. SEE PSD NO. 17 & 17A DETAIL ON SHEET C-903. (MIN. SLOPE 1.00%, MIN. COVER 36")

S-4 INSTALL SANITARY SEWER CLEANOUT. CLEANOUTS TO BE INSTALLED AT ALL MAJOR BENDS AND PLACED EVERY 75' FOR 4" SERVICE LINES AND PLACED EVERY 100' FOR 6" SERVICE LINES PER PLURIS STANDARDS AND SPECIFICATIONS. SEE DETAIL ON SHEET C-903.

S-5 CONTRACTOR TO ENCASE SEWER MAIN IN A WATERTIGHT CARRIER PIPE AT STORM DRAIN CROSSING LOCATIONS SHOWN PER PCU STANDARDS. ENCASEMENT TO EXTEND MINIMUM 10 FEET ON EITHER SIDE OF CROSSING.

S-6 INSTALL 1,500 GALLON CAPACITY PRECAST CONCRETE GREASE TRAP AT LOCATION SHOWN PER PENDER COUNTY WATER AND SEWER ORDINANCE, ARTICLE XIII SPECIFICATIONS. SEE DETAIL, SHEET C-903.

S-7 INSTALL TWO WAY SANITARY SEWER CLEANOUT PER PLURIS STANDARDS AND SPECIFICATIONS. SEE DETAIL, SHEET C-903.

S-8 PROPOSED 45° DOUBLE WYE SWEEP FITTING PER PLURIS STANDARDS AND SPECIFICATIONS. SEE DETAIL, SHEET C-903.

S-9 CONTRACTOR TO ENSURE CAPPING OF EXISTING SANITARY LATERALS NOT USED FOR PROJECT BUT ACCESSIBLE FOR FUTURE USE AND TO BRING EXISTING CLEANOUTS TO PROPOSED GRADE USING EXTENSIONS AS NECESSARY PER PLURIS STANDARDS AND SPECIFICATIONS.

NOTE: SANITARY SEWER AND STORM DRAIN CROSSING. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN THESE UTILITIES. OTHERWISE SEWER SHALL BE ENCASED IN CONCRETE.

STORM SEWER CONSTRUCTION NOTES

D-1 PROPOSED STORM DRAIN CATCH BASIN AT INVERTS AND ELEVATIONS SHOWN (TYP.). SEE CATCH BASIN SCHEDULE, SHEET C-302. SEE STORM SYSTEM SCHEDULE THIS SHEET FOR SIZE, MATERIAL, INVERT, SLOPE, AND TYPE INFORMATION.

D-2 PROPOSED STORM DRAIN PIPE AT INVERTS AND ELEVATIONS SHOWN (TYP.). SEE STORM DRAIN PIPE SCHEDULE, SHEET C-302.

D-3 PROPOSED H.D.P.E. ROOF DRAIN MAINS (DUAL WALL / N-12 OR EQUAL) MINIMUM SLOPE @ MIN 1%. MINIMUM DEPTH OF 1". ALL BENDS SHALL BE AT 45°.

D-4 PROPOSED 8" H.D.P.E. ROOF DRAIN LATERALS AND CONNECT TO DOWNSPOUTS USING A DISSIMILAR MATERIALS ADAPTOR (ADS OR EQUAL). CONNECT TO ROOF DRAIN MAIN UTILIZING A WYE FITTING CONNECTION. SEE PLUMBING PLANS FOR EACH INDIVIDUAL DOWNSPOUT SIZE AND INVERT EXITS THE BUILDING.

D-5 CONTRACTOR TO CONNECT STORM DRAIN PIPE INTO EXISTING CATCH BASINS AT LOCATIONS SHOWN. SEE THIS SHEET FOR INVERTS.

D-6 PROPOSED STORM DRAIN CLEANOUT. CLEANOUTS SHALL BE INSTALLED AT ALL MAJOR BENDS AND AT A MINIMUM OF EVERY 100 FT.

D-7 PROPOSED RPZ PROTECTION AT LOCATIONS SHOWN. SEE SHEET C-503 FOR DETAILS.

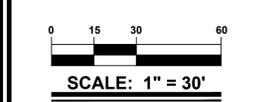
PROJECT TITLE

HEADWATERS: HAMPSTEAD OUTPARCELS

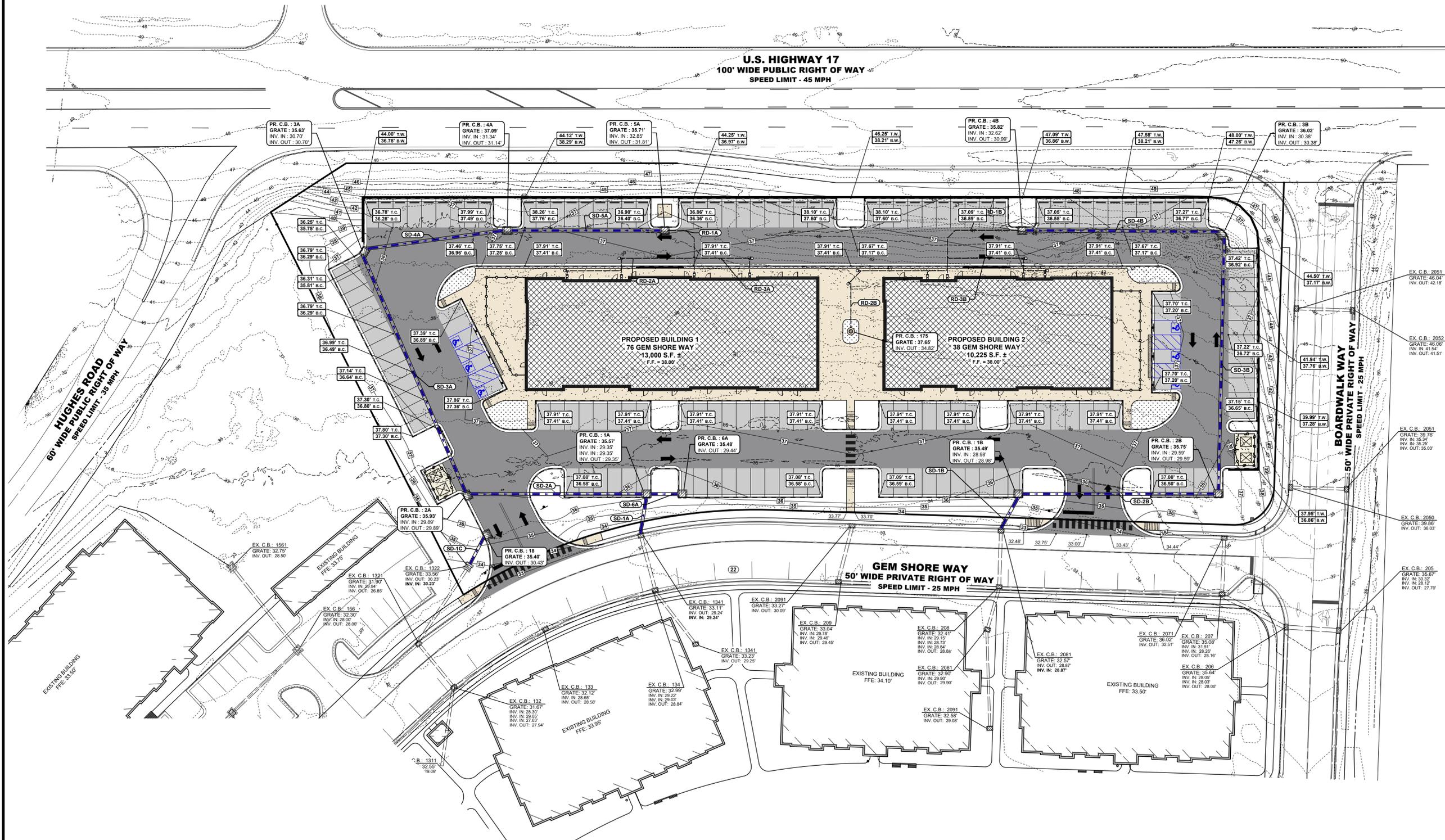
HAMPSTEAD PENDER COUNTY, NC

SHEET TITLE

UTILITY PLAN



MARK	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION
		(LAYERSTATE: C-30)
PROJECT NO.:		2023315.00
DATE:		12-10-2024
SCALE:		1" = 30"
DRAWN BY:		J.P.G. / PROJ. MGR.: T.H.M.S.
		SHEET
		C-301
		COPYRIGHT 2023



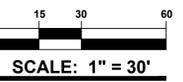
PROJECT TITLE

**HEADWATERS:
HAMPSTEAD
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

SHEET TITLE

GRADING PLAN



ISSUE BLOCK

NO.	DATE	DESCRIPTION

1. 5/2/2025 AGENCY SUBMISSION

MARK DATE DESCRIPTION

PROJECT NO.: 2023315.00

DATE: 12-10-2024

SCALE: 1" = 30'

DRAWN BY: J.P.G. | PROJ. MGR.: T.H.M.S.

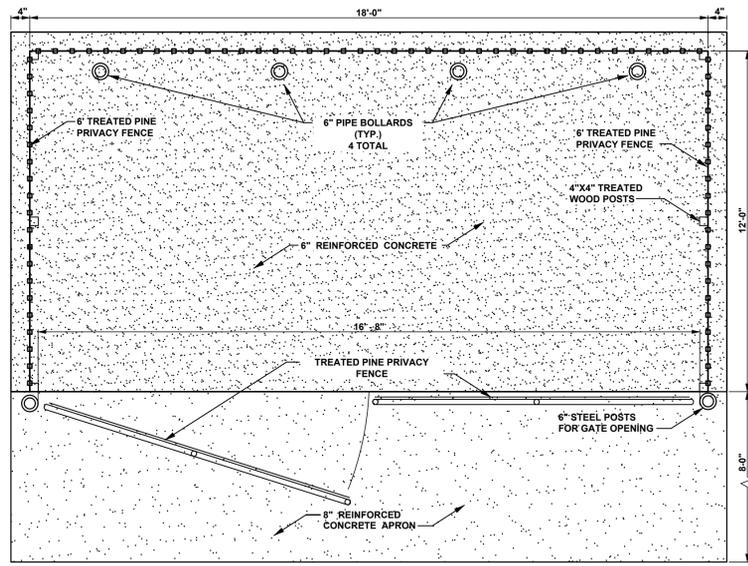
SHEET

C-401

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GRADING NOTES:

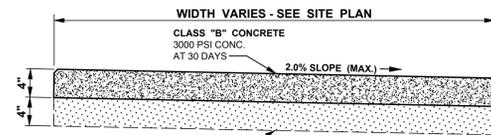
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AND ENSURE PROPOSED PAVEMENT DRAINS TO APPROPRIATE STORM DRAINAGE MEASURE.
- CONTRACTOR TO VERIFY ALL EXISTING SPOT ELEVATIONS PROVIDED ON THIS PLAN PRIOR TO CONSTRUCTION. SHOULD DISCREPANCIES ARISE, CONTRACTOR TO IMMEDIATELY CONTACT ENGINEER.



PLAN

DUMPSTER ENCLOSURE DETAIL

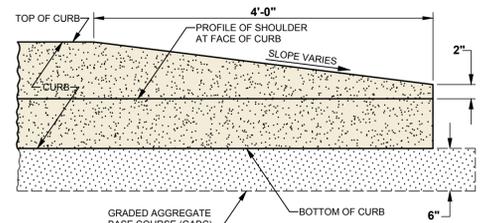
SCALE: NONE



- NOTES:**
1. MARK IN 4' SQUARES, USE PREMOLDED EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 16'
 2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER SPECIFICATIONS.

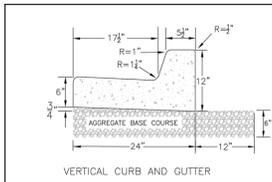
CONCRETE SIDEWALK DETAIL

NO SCALE BMG NO.: SW-03C



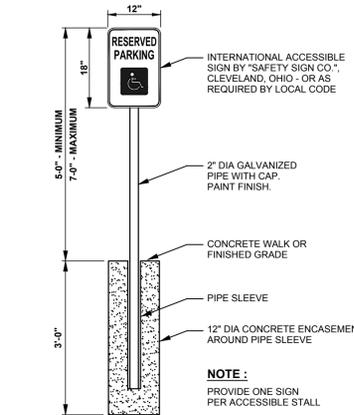
CURB TAPER DETAIL

NO SCALE BMG NO.: SW-1L



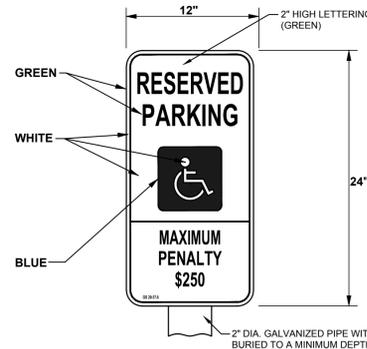
6" CURB AND GUTTER

NO SCALE



ACCESSIBLE PARKING SIGN & POLE

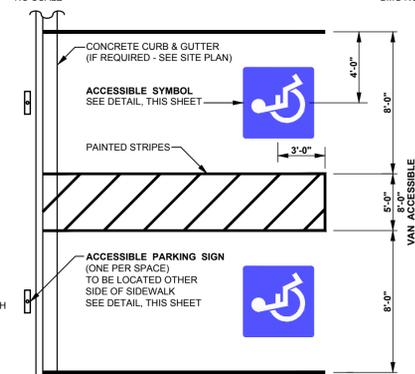
NO SCALE BMG NO.: SW-4D



- NOTES:**
1. THE BOTTOM EDGE OF SIGN SHALL BE A MINIMUM OF 5.0' AND A MAXIMUM OF 7.0' ABOVE FINISHED GRADE. CONTRACTOR SHALL INSTALL ONE SIGN PER ACCESSIBLE PARKING SPACE. SIGNS ARE TO BE CENTERED ON STALL WIDTH, FACING PARKING.
 2. THE SIGN BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS AS DEFINED BY THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS.

ACCESSIBLE PARKING SIGN DETAIL

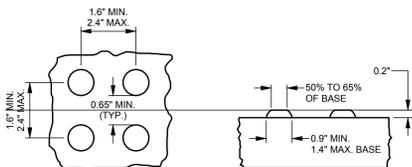
NO SCALE BMG NO.: SW-4C-2



- NOTES:**
1. ACCESSIBLE SPACES SHALL BE 8'-0" WIDE (MIN.).
 2. PROVIDE PERFORMED THERMOPLASTIC (90 MIL) ACCESSIBLE SYMBOL COLOR: WHITE SYMBOL ON BLUE BACKGROUND. SIZE: 48" X 48"

ACCESSIBLE PARKING SPACE PLAN

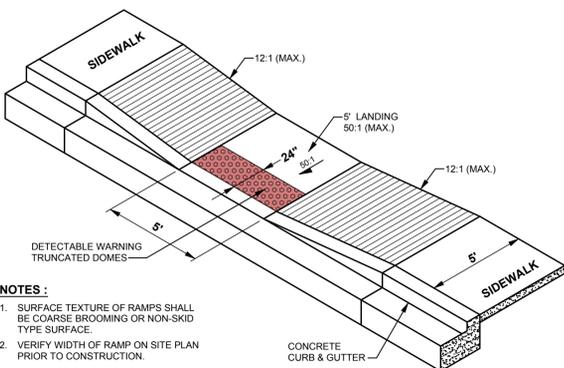
NO SCALE BMG NO.: SW-4B1



- NOTES:**
1. PER CURRENT ADAAG.
 2. PRIOR TO INSTALLATION VERIFY MATERIALS AND COLORS WITH LOCAL AGENCIES.
 3. THE AREA OF DETECTABLE WARNING TRUNCATED DOMES SHALL BE 2'-0" LONG AND THE FULL WIDTH OF THE RAMP OR DEPRESSED CURB.
 4. DETECTABLE WARNINGS MUST HAVE A LIGHT-TO-DARK CONTRAST WITH THE SIDEWALK MATERIAL.
 5. LIGHT REFLECTANCE VALUE CONTRAST MUST BE AT LEAST 70%.
 6. THE COLOR OF DETECTABLE WARNINGS TO BE USED FOR SIDEWALK MATERIAL IS AS FOLLOWS:

SIDEWALK / CURB RAMP MATERIAL	DETECTABLE WARNING SYSTEM COLOR
CONCRETE	BROWN CONCRETE, DARK GRAY, BRIGHT RED, ORANGE (BRICK) RED OR BLACK

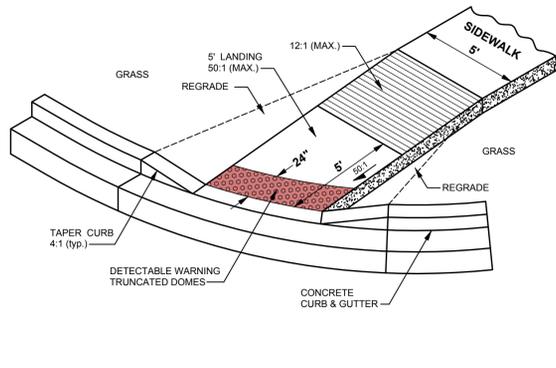
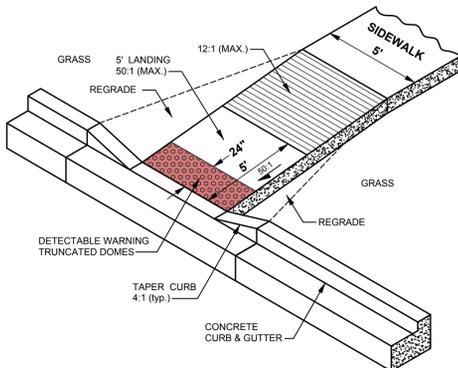
DETECTABLE WARNINGS - TRUNCATED DOME



- NOTES:**
1. SURFACE TEXTURE OF RAMPS SHALL BE COARSE BROOMING OR NON-SKID TYPE SURFACE.
 2. VERIFY WIDTH OF RAMP ON SITE PLAN PRIOR TO CONSTRUCTION.

ACCESSIBLE RAMP DETAIL

NO SCALE



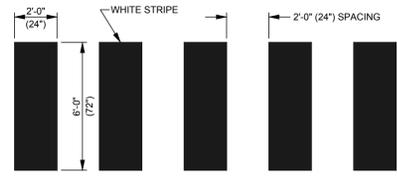
BMG NO.: SW-04A1



- NOTE:**
1. PROVIDE PERFORMED THERMOPLASTIC (90 MIL) ACCESSIBLE SYMBOL COLOR: WHITE SYMBOL ON BLUE BACKGROUND. SIZE: 48" X 48"

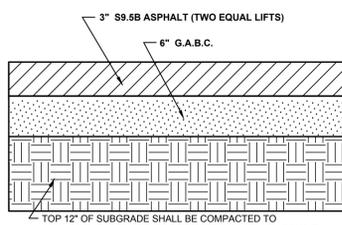
ACCESSIBLE THERMO SYMBOL

NO SCALE BMG NO.: SW-4E-2



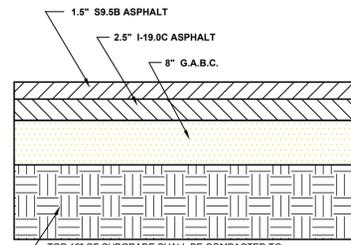
PEDESTRIAN CROSSWALK DETAIL

NO SCALE BMG NO.: TS-03



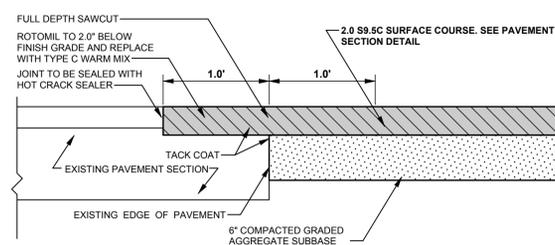
LIGHT DUTY PAVEMENT SECTION DETAIL

NO SCALE BMG NO.: SW-2A



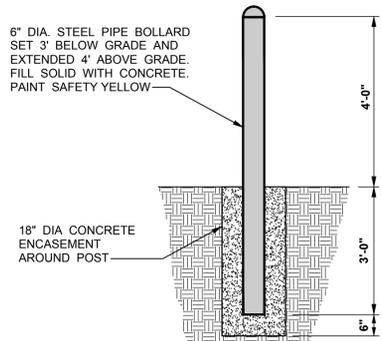
HEAVY DUTY PAVEMENT SECTION DETAIL

NO SCALE BMG NO.: SW-2A



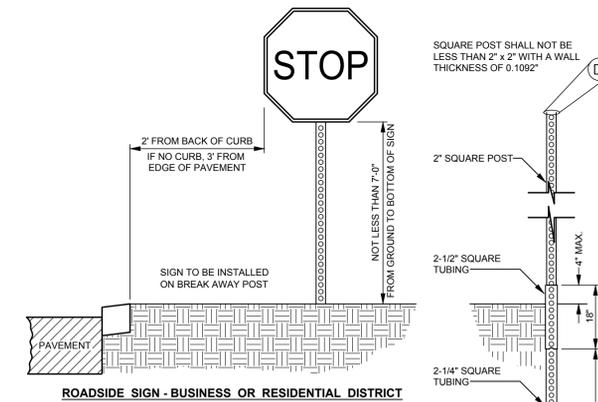
PAVEMENT TIE-IN SECTION

NO SCALE



PIPE BOLLARD DETAIL

NO SCALE BMG NO.: SW-9A



STOP SIGN AND BREAKAWAY POST DETAIL

NO SCALE BMG NO.: TS-02R

MARK	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION
LAYER STATE: C-001		
PROJECT NO.:		2023315.00
DATE:		12-11-2024
SCALE:		AS SHOWN
DRAWN BY:		J.P.G. PROJ. MGR.: T.H.M.S.
SHEET		

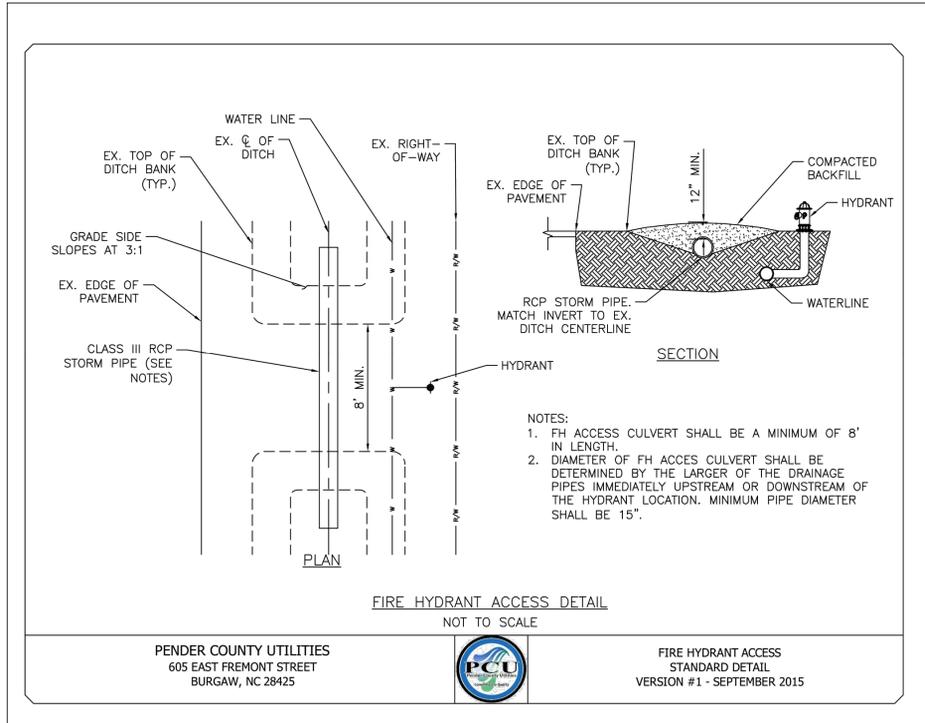
PCU STANDARD NOTES

1. A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE BEGINNING WORK. THE MEETING MUST BE SCHEDULED WITH PENDER COUNTY UTILITIES (PCU) AT LEAST ONE WEEK IN ADVANCE. ATTENDEES MUST INCLUDE PCU, THE UTILITY CONTRACTOR'S SUPERINTENDENT, THE SUPPLIER, AND THE CONSULTING ENGINEER.
2. ALL MATERIALS USED SHALL CONFORM TO PENDER COUNTY UTILITIES REQUIREMENTS. NON-CONFORMING MATERIAL WILL NOT BE ACCEPTED FOR FINAL CERTIFICATION.
3. ALL PIPE SHALL BE C900 CR18 PVC, UNLESS OTHERWISE NOTED (SEE PCU STANDARD DETAIL). PCU MUST APPROVE THE USE OF DIP IN THE FIELD BEFORE INSTALLATION. PIPE SHOULD NEVER BE UNDER THE ROADWAY, PARKING LOT, OR SIDEWALKS. PENDER COUNTY UTILITIES DOES NOT ALLOW SIZE-ON-SIZE TAPS.
4. PCU STANDARD WATERLINE PIPE RESTRAINING METHOD IS MEGA LUGS. AT A MINIMUM ALL FITTINGS, VALVES, ETC. MUST BE RESTRAINED (SEE PCU STANDARD DETAIL).
5. PCU MUST INSPECT CASING INSTALLATIONS PRIOR TO BACKFILL. PCU MUST WITNESS PRESSURE TESTS, AND WITHDRAWAL OF BACTERIOLOGICAL SMPAPLES. CONTACT PENDER COUNTY UTILITIES INSPECTOR TO SCHEDULE.
6. CLOSE-OUT DOCUMENTS WHICH MUST BE RECEIVED PRIOR TO PCU SIGNING THE NCDEQ PWSS APPLICANT CERTIFICATION INCLUDE: BACTERIOLOGICAL TESTS, PRESSURE TESTS, DEED OF DEDICATION, AFFIDAVIT/RELEASE OF LIENS, WARRANTY, AND RECORDS DRAWINGS (PDF & GIO REFERENCED CAD).
7. AN 18-MONTH WARRANTY PERIOD APPLIES TO ALL WATERLINE CONSTRUCTION. THIS WARRANTY PERIOD DOES NOT BEGIN UNTIL FINAL APPROVAL OF THE SYSTEM HAS BEEN RECEIVED FROM NCDEQ PWSS.

PENDER COUNTY UTILITIES
605 E FREMONT STREET
PO BOX 995, BURGAW, NC 28425



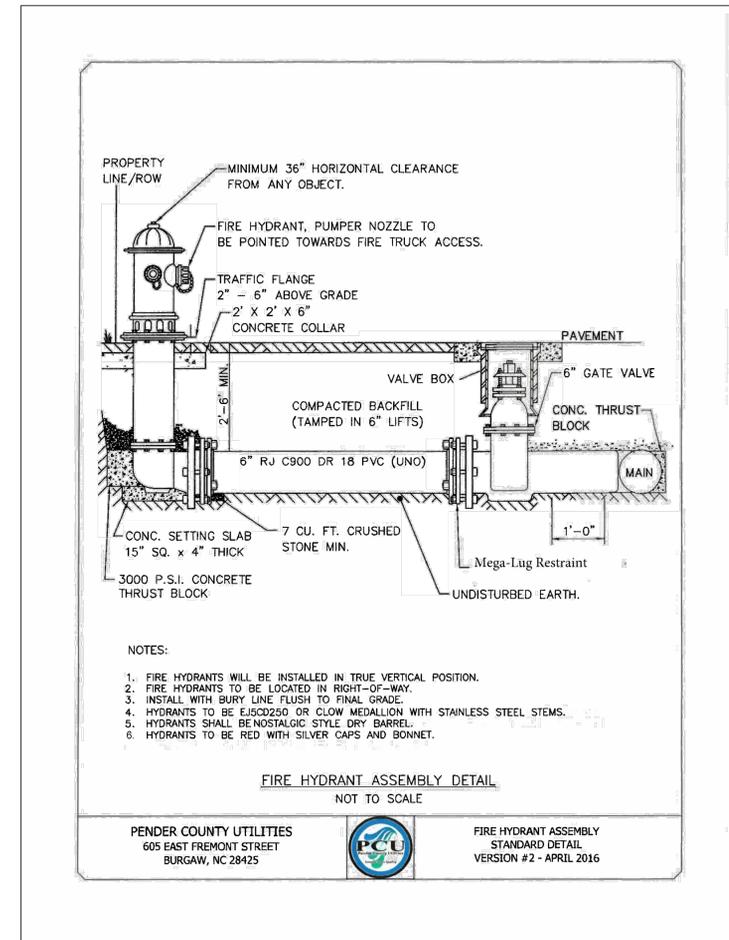
STANDARD NOTES
PCU WATER SYSTEMS
VERSION #4 - OCTOBER 2023



PENDER COUNTY UTILITIES
605 EAST FREMONT STREET
BURGAW, NC 28425



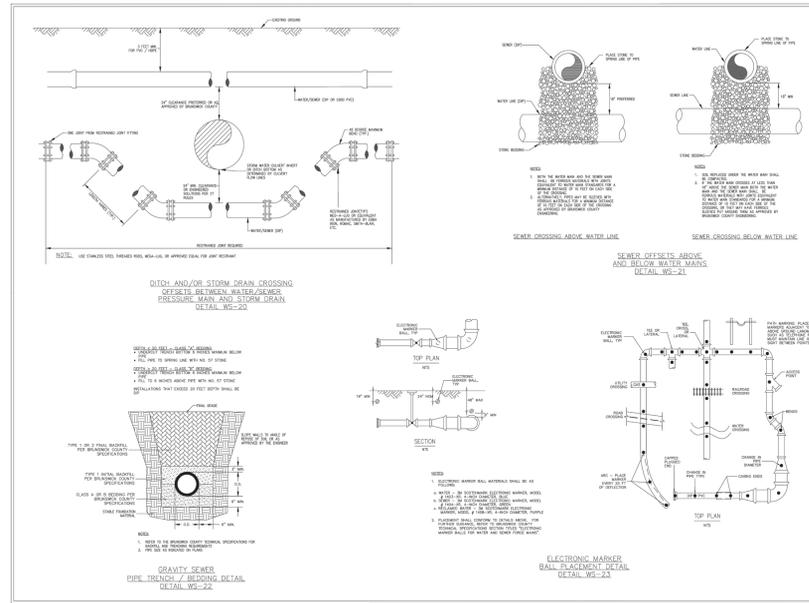
FIRE HYDRANT ACCESS
STANDARD DETAIL
VERSION #1 - SEPTEMBER 2015



PENDER COUNTY UTILITIES
605 EAST FREMONT STREET
BURGAW, NC 28425



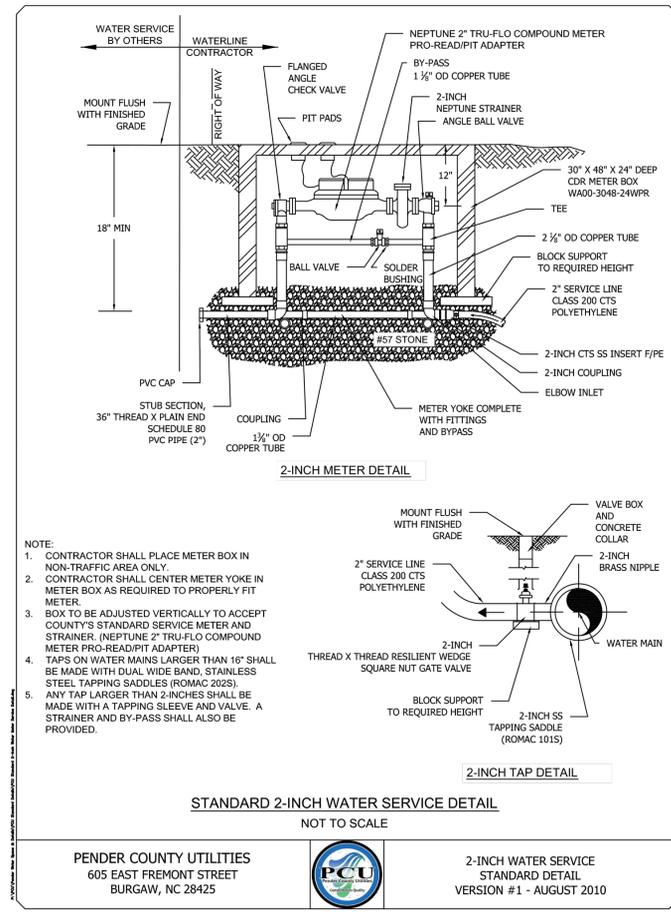
FIRE HYDRANT ASSEMBLY
STANDARD DETAIL
VERSION #2 - APRIL 2016



GENERAL WATER & SEWER DETAIL
VERSION #1 - APRIL 2024



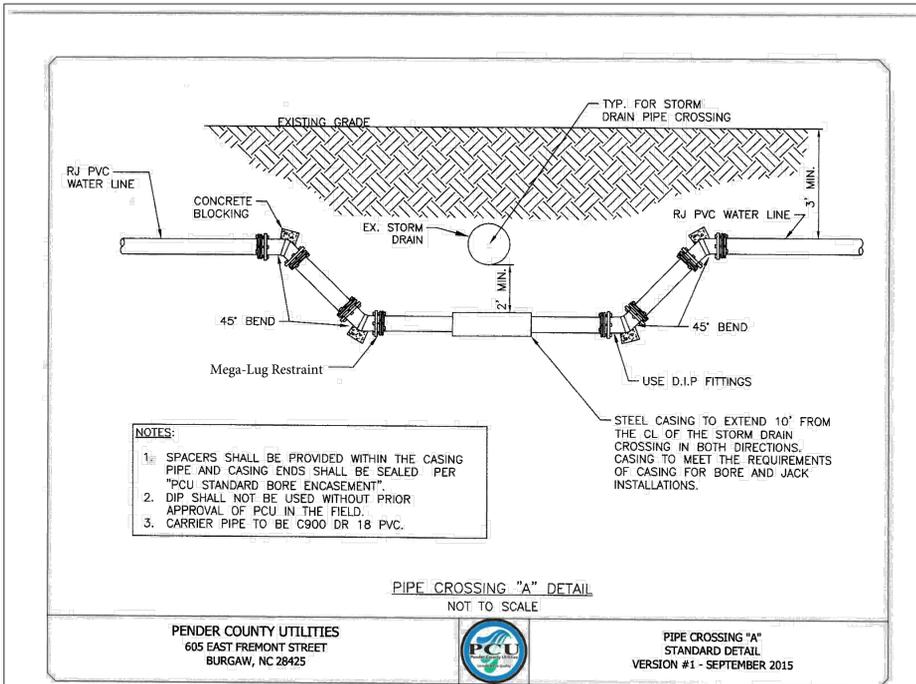
PENDER COUNTY UTILITIES
605 EAST FREMONT STREET
BURGAW, NC 28425



PENDER COUNTY UTILITIES
605 EAST FREMONT STREET
BURGAW, NC 28425



2-INCH WATER SERVICE
STANDARD DETAIL
VERSION #1 - AUGUST 2010



PENDER COUNTY UTILITIES
605 EAST FREMONT STREET
BURGAW, NC 28425



PIPE CROSSING \"A\"
STANDARD DETAIL
VERSION #1 - SEPTEMBER 2015



ARCHITECTURE
ENGINEERING
Delaware
Dover
302.734.7950
Newark
302.369.3700
Maryland
Salisbury
410.546.9100
North Carolina
Charlotte
980.270.9100
Raleigh
919.243.1332
Wilmington
910.341.7600

www.beckermorgan.com

NC License #: C-4743

PROJECT TITLE

**HEADWATERS:
HAMPSTEAD
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

**CONSTRUCTION
DETAILS**

ISSUE BLOCK

MARK	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION
LAYER/STATE	C-900	

PROJECT NO.: 2023315.00
DATE: 12-11-2024
SCALE: AS SHOWN
DRAWN BY: J.P.G. | PROJ. MGR.: T.H.M.S.

C-902
COPYRIGHT 2023

PROJECT TITLE

**HEADWATERS:
HAMPSTEAD
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

SHEET TITLE

**CONSTRUCTION
DETAILS**

ISSUE BLOCK

MARK	DATE	DESCRIPTION
1.	5/2/2025	AGENCY SUBMISSION

PROJECT NO.: 2023315.00

DATE: 12-11-2024

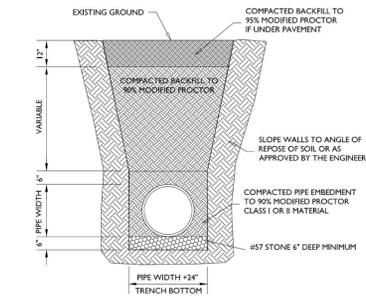
SCALE: AS SHOWN

DRAWN BY: J.P.G. | PROJ. MGR.: T.H.M.S.

SHEET

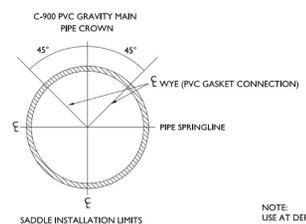
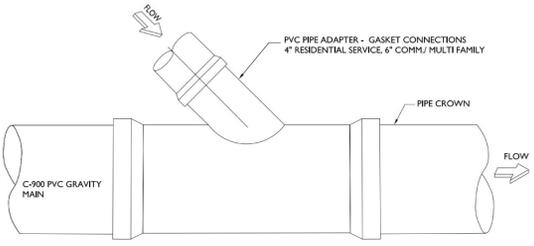
C-903

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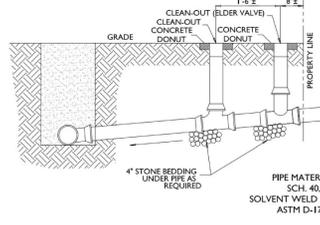
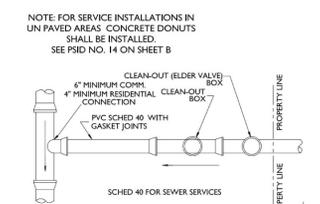
NOTES:
1. MINIMUM BURY DEPTH FOR ALL FORCE MAINS AND GRAVITY LINES IS 36" UNLESS SPECIFICALLY ALLOWED BY THE ENGINEER. ALL LINES SHALL BE INSTALLED TO A MINIMUM OF 36" UNLESS SPECIFICALLY ALLOWED BY THE ENGINEER. ALL LINES SHALL BE INSTALLED TO A MINIMUM OF 36" UNLESS SPECIFICALLY ALLOWED BY THE ENGINEER. ALL LINES SHALL BE INSTALLED TO A MINIMUM OF 36" UNLESS SPECIFICALLY ALLOWED BY THE ENGINEER.
2. ALL LINES TO BE BEDDED IN 6" OF #57 STONE MINIMUM. FOR LINES INSTALLED BELOW THE WATER TABLE #57 STONE SHOULD EXTEND TO THE SPRING LINE OF THE PIPE AT A MINIMUM.
3. THE USE OF #57 STONE BEDDING AND BACKFILL SHOULD BE COMMENSURATE WITH THE CONDITIONS IN THE TRENCH. THE CONTRACTOR IS RESPONSIBLE FOR PROPER BEDDING AND BACKFILLING TO INSURE PIPE STABILITY AND UNIFORM GRADE.

PSD NO. 9 - PIPE TRENCH AND BEDDING DETAIL
NOT TO SCALE

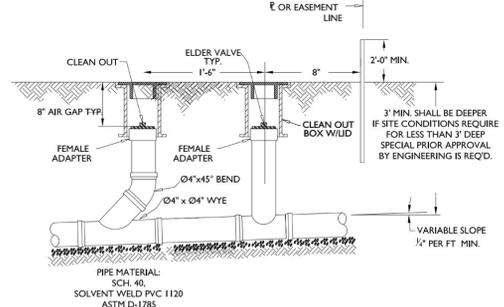


NOTE: USE AT DEPTHS FROM 3 TO 6 FEET

PSD NO. 16 - GRAVITY SERVICE CONNECTION DETAIL
NOT TO SCALE

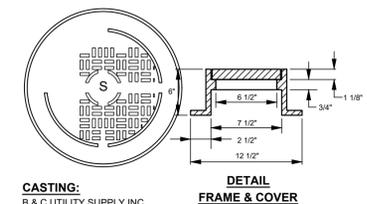


PSD NO. 17 - STANDARD SERVICE DETAIL (UNPAVED AREAS)
NOT TO SCALE

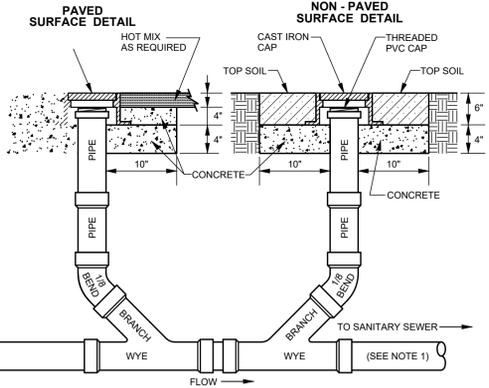


NOTE: ALL SERVICES FOR SINGLE FAMILY RESIDENCES AND SINGLE COMMERCIAL STRUCTURES ARE TO BE INSTALLED WITH AN ELDER VALVE.

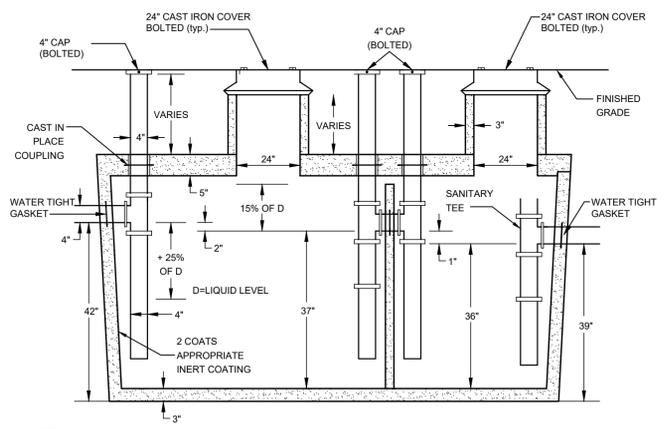
PSD NO. 17A - STANDARD SERVICE CLEAN OUT DETAIL FOR PAVED AREAS/ CONCRETE DRIVES
NOT TO SCALE



CASTING:
B & C UTILITY SUPPLY INC.
TYPE A-1100 OR APPROVED

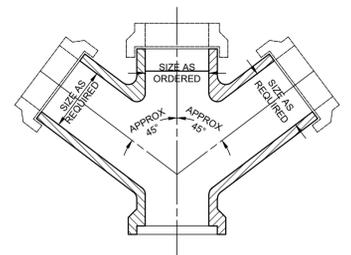


TWO WAY SANITARY SEWER CLEANOUT
SS-03F

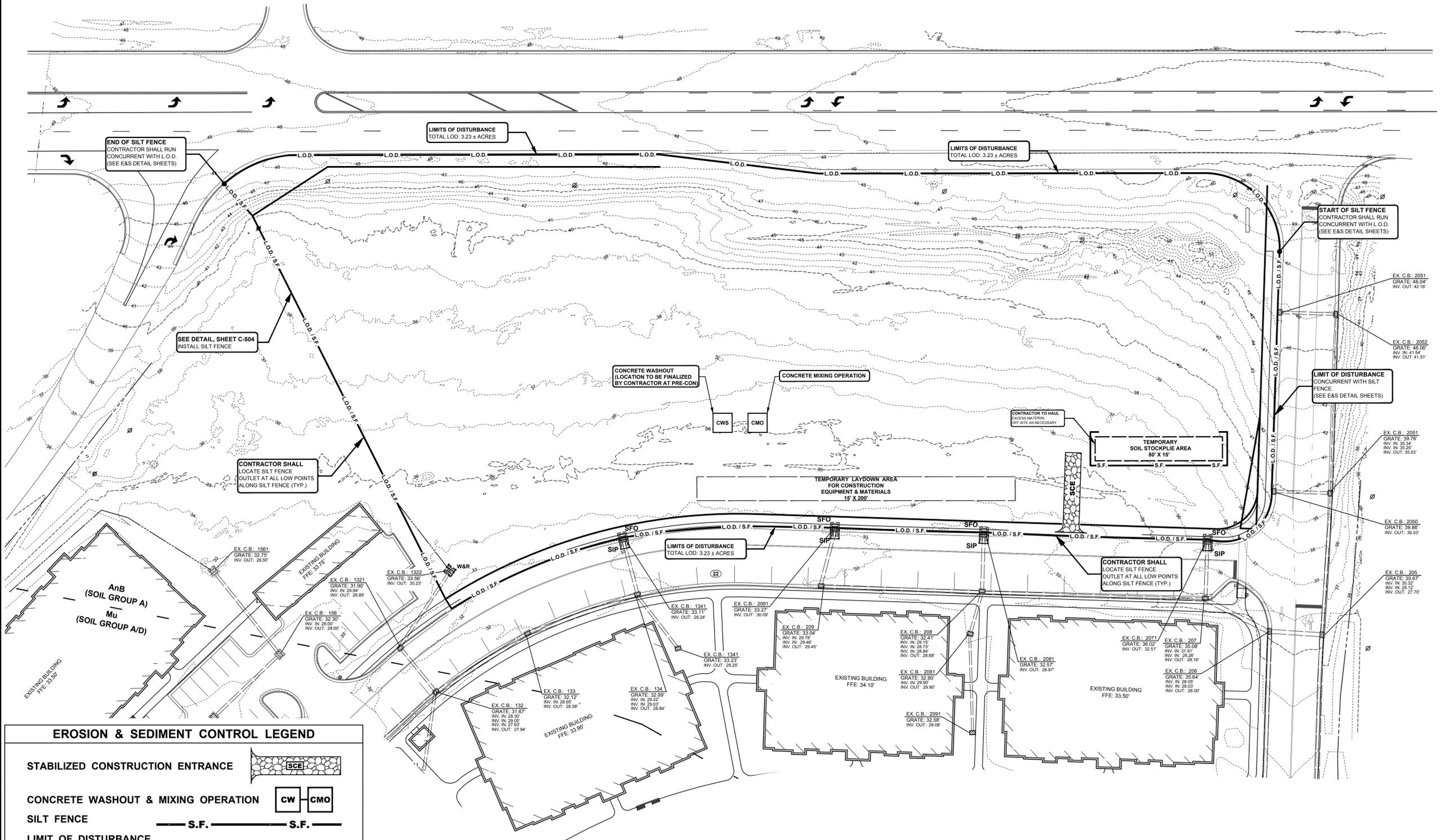


NOTES:
1. PRECAST GREASE TRAP TO HAVE H-20 LOADING AND/OR APPROPRIATE LOAD BEARING CONCRETE SLAB.
2. TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION.
3. ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 12" FROM THE BOTTOM OF THE GREASE TRAP.
4. TANK IS 4000 PSI CONCRETE-STEEL REINFORCED CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2.

PRECAST GREASE TRAP DETAIL (1,500 GAL.)
NO SCALE



45° DOUBLE WYE SWEEP FITTING
NO SCALE



EROSION & SEDIMENT CONTROL LEGEND

STABILIZED CONSTRUCTION ENTRANCE 

CONCRETE WASHOUT & MIXING OPERATION 

SILT FENCE  S.F.

LIMIT OF DISTURBANCE  L.O.D.

SILT BAG INLET PROTECTION  SIP

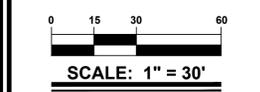
SILT FENCE OUTFALL  SFO

WIRE AND ROCK INLET PROTECTION  W&R

PROJECT TITLE
HEADWATERS OUTPARCELS

HAMPSTEAD PENDER COUNTY, NC

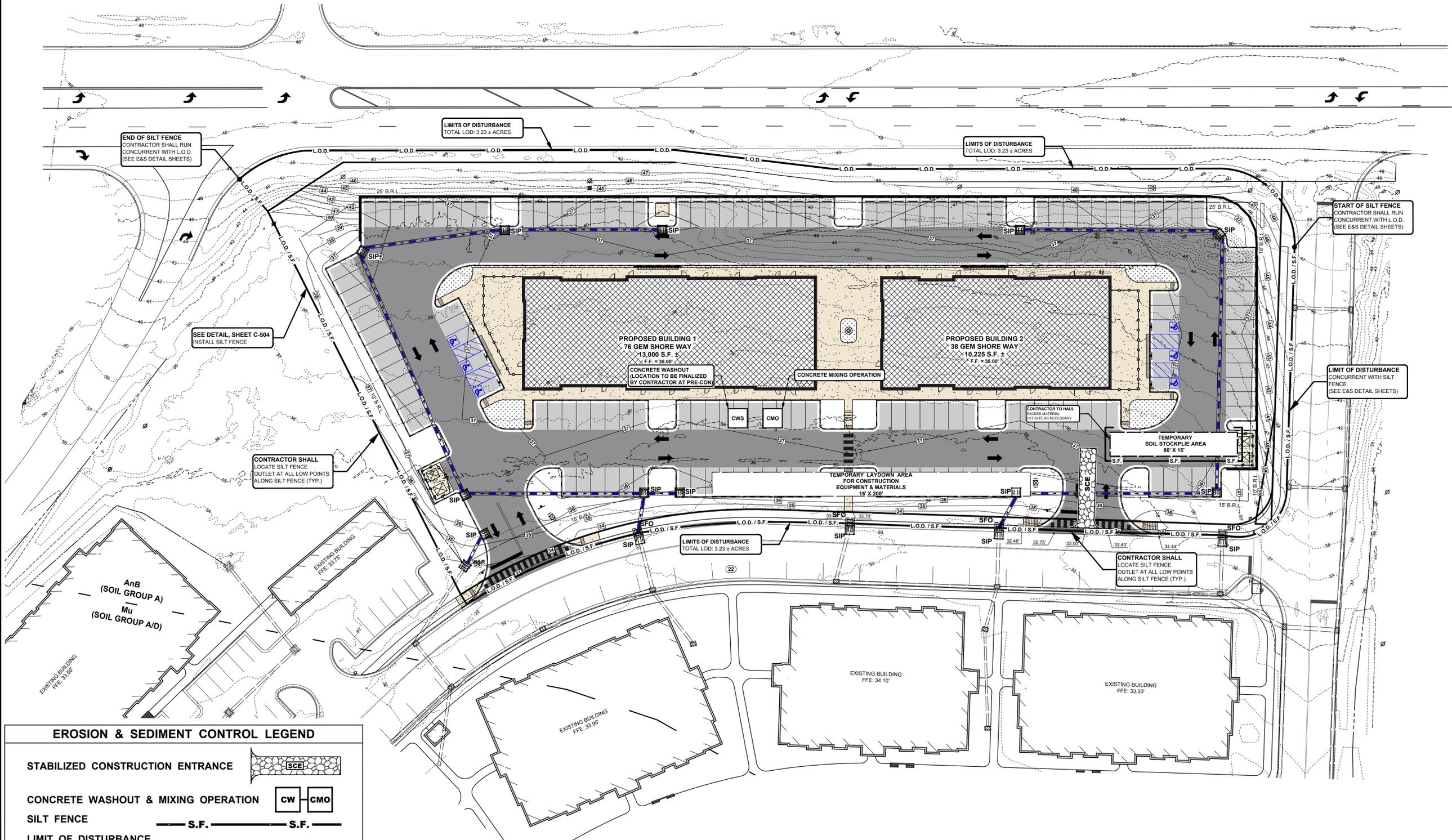
SHEET TITLE
PRE - CONSTRUCTION EROSION & SEDIMENTATION CONTROL PLAN



MARK	DATE	DESCRIPTION

PROJECT NO.: 2023315.00
 DATE: 08/07/2024
 SCALE: 1" = 30"
 DRAWN BY: J.P.G. | PROJ. MGR.: T.H.M.S.

SHEET
C-501



END OF SILT FENCE
CONTRACTOR SHALL RUN
CONCURRENT WITH L.O.D.
(SEE E&S DETAIL SHEETS)

LIMITS OF DISTURBANCE
TOTAL LOD: 3.23 ± ACRES

LIMITS OF DISTURBANCE
TOTAL LOD: 3.23 ± ACRES

START OF SILT FENCE
CONTRACTOR SHALL RUN
CONCURRENT WITH L.O.D.
(SEE E&S DETAIL SHEETS)

SEE DETAIL, SHEET C-504
INSTALL SILT FENCE

CONTRACTOR SHALL
LOCATE SILT FENCE
OUTLET AT ALL LOW POINTS
ALONG SILT FENCE (TYP.)

CONCRETE WASHOUT
(LOCATION TO BE FINALIZED
BY CONTRACTOR AT PRE-CON)

CONCRETE MIXING OPERATION

CONTRACTOR TO HAUL
EXCESS MATERIAL
OFF-SITE AS NECESSARY

LIMIT OF DISTURBANCE
CONCURRENT WITH SILT
FENCE.
(SEE E&S DETAIL SHEETS)

CONTRACTOR SHALL
LOCATE SILT FENCE
OUTLET AT ALL LOW POINTS
ALONG SILT FENCE (TYP.)

LIMITS OF DISTURBANCE
TOTAL LOD: 3.23 ± ACRES

AnB
(SOIL GROUP A)
Mu
(SOIL GROUP A/D)

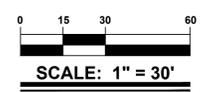
EROSION & SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT & MIXING OPERATION
- SILT FENCE
- LIMIT OF DISTURBANCE
- SILT BAG INLET PROTECTION
- SILT FENCE OFFFALL
- WIRE AND ROCK INLET PROTECTION

**HEADWATERS
OUTPARCELS**

HAMPSTEAD
PENDER COUNTY, NC

**POST -
CONSTRUCTION
EROSION &
SEDIMENTATION
CONTROL PLAN**



MARK	DATE	DESCRIPTION

PROJECT NO.:	2023315.00
DATE:	08/07/2024
SCALE:	1" = 30'
DRAWN BY:	J.P.G. / PROJ. MGR.: T.H.M.S.

C-502

BUFFERYARD & LANDSCAPE REQUIREMENTS

1. INTERIOR PARKING LOT LANDSCAPING (SECTION 8.3.2-C.3):
EACH SINGLE ROW TERMINAL LANDSCAPE ISLAND SHALL CONTAIN AT LEAST ONE (1) UNDERSTORY TREE.
PARKING ISLANDS PROVIDED: 19
TREES REQUIRED: 19 / 1 = 19 TREES REQUIRED WITH TWO (2) FOOT HIGH SHRUBS.
PLANTING PROVIDED: 23 UNDERSTORY, 90 SHRUBS

2. PERIMETER PARKING LOT LANDSCAPING (SECTION 8.3.2-H.1):
CANOPY TREES SHALL BE PLANTED AT AN AVERAGE OF FIFTY (50) FOOT CENTERS AROUND THE TOTAL PERIMETER OF THE PARKING LOT. CANOPY TREES PLANTED WITHIN THIRTY (30) FEET FROM EDGE OF PAVEMENT MAY BE USED.
PARKING LOT PERIMETER: 951 L.F. ± 841 L.F. (PER RETAINING WALL AREA) = 313 L.F.
TREES REQUIRED: 313 L.F. / 50 L.F. = 6.26 = 7 TREES REQUIRED
PLANTINGS PROVIDED: TREES PROVIDED IN REQUIRED LANDSCAPE BUFFERS
NOTE: TREES NOT FEASIBLE ALONG U.S. 17 & MARAVILLA WAY DUE TO PROPOSED 8' ± RETAINING WALL
NOTE: CANOPY TREES WITHIN THE LANDSCAPE BUFFERS ARE USED FOR EXTERIOR PARKING LOT LANDSCAPING.

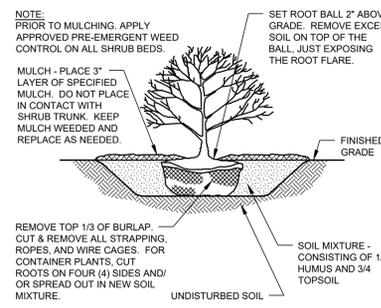
3. BUFFERYARDS (SECTION 8.2):
MARISOL PATH WAY:
LENGTH: 494.70 L.F. - 51.53 L.F. (ENTRANCE) - 57.92 L.F. (ENTRANCE) = 385.25 L.F.
BUFFER REQUIRED: BUFFER A-1:
15-FOOT WITH 2 UNDERSTORY & SHRUBS PER 100 L.F. (PER MEETING 12/20/2024 WITH PLANNING)
REQUIRED BUFFER AREA: 385.25' x 15' = 5,778.75 S.F.
PROVIDED BUFFER AREA: 7,038.01 S.F. (MEASURED ± 22.5' FROM R.O.W. MAX. ± 7.5' FROM R.O.W. MIN.)
PLANTINGS REQUIRED:
385.25 L.F. / 100 L.F. = 3.85 BUFFER UNITS
UNDERSTORY TREES REQUIRED: 2 TREES x 3.85 BUFFER UNITS = 8 UNDERSTORY TREES
PLANTINGS PROVIDED: 6 CANOPY TREES, 7 UNDERSTORY TREES, 39 SHRUBS, 55 GRASSES

MARAVILLA WAY:
LENGTH: 170.54 L.F. - 139.58 L.F. (RETAINING WALL) = 30.96 L.F.
TREES NOT FEASIBLE ALONG RETAINING WALL DUE TO EXISTING UTILITIES (WATER)
SHRUBS PLANTED AT TOP OF RETAINING WALL TO REDUCE VISUAL IMPACT
BUFFER REQUIRED: BUFFER A-1:
15-FOOT WITH 2 UNDERSTORY & SHRUBS PER 100 L.F. (PER MEETING 12/20/2024 WITH PLANNING)
REQUIRED BUFFER AREA: 170.54' x 15' = 2,558.10 S.F.
PROVIDED BUFFER AREA: 2,820.12 S.F. (MEASURED 22.5' FROM R.O.W. MAX. ± 10.73' FROM R.O.W. MIN.)
PLANTINGS REQUIRED:
30.96 L.F. / 100 L.F. = 0.31 BUFFER UNITS
UNDERSTORY TREES REQUIRED: 2 TREES x 0.31 BUFFER UNITS = 1 UNDERSTORY TREES
PLANTINGS PROVIDED: 1 UNDERSTORY TREE, 31 SHRUBS

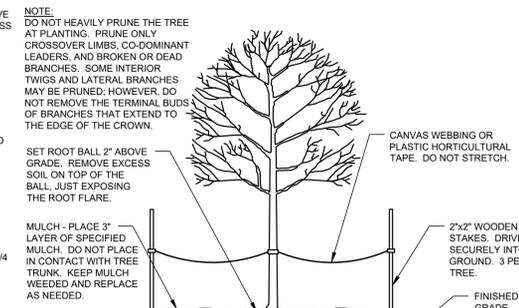
U.S. HIGHWAY 17:
LENGTH: 647.43 L.F. - 568.53 L.F. (8' RETAINING WALL) = 88.90 L.F.
TREES NOT FEASIBLE ALONG RETAINING WALL DUE TO EXISTING UTILITIES (OVERHEAD ELECTRIC & WATER)
SHRUBS PLANTED AT TOP OF RETAINING WALL TO REDUCE VISUAL IMPACT
BUFFER REQUIRED: BUFFER A-1:
15-FOOT WITH 2 UNDERSTORY & SHRUBS PER 100 L.F. (PER MEETING 12/20/2024 WITH PLANNING)
REQUIRED BUFFER AREA: 647.43' x 15' = 9,711.45 S.F.
PROVIDED BUFFER AREA: 14,094.84 S.F. (MEASURED 22.5' FROM R.O.W. MAX. ± 21.37' FROM R.O.W. MIN.)
PLANTINGS REQUIRED:
88.90 L.F. / 100 L.F. = 0.88 BUFFER UNITS
UNDERSTORY TREES REQUIRED: 2 TREES x 0.88 BUFFER UNITS = 2 UNDERSTORY TREES
PLANTINGS PROVIDED: 3 UNDERSTORY TREES, 129 SHRUBS, 100 GRASSES
NOTE: UNDERSTORY TREES TO BE NO GREATER THAN 20' IN HEIGHT DUE TO OVERHEAD ELECTRIC.

PROPERTY BUFFER:
LENGTH: 227.43 L.F.
BUFFER REQUIRED: BUFFER B-1:
10-FOOT WIDE STRIP WITH 3 CANOPY, 4 UNDERSTORY, AND GRASS COVER PER 100 L.F.
REQUIRED BUFFER AREA: 223.59' x 10' = 2,235.90 S.F.
PROVIDED BUFFER AREA: 2,235.94 S.F.
PLANTINGS REQUIRED:
227.43 L.F. / 100 L.F. = 2.27 BUFFER UNITS
CANOPY TREES REQUIRED: 3 TREES x 2.27 BUFFER UNITS = 7 CANOPY TREES
UNDERSTORY TREES REQUIRED: 4 TREES x 2.27 BUFFER UNITS = 9 UNDERSTORY TREES
PLANTINGS PROVIDED: 7 CANOPY TREES, 9 UNDERSTORY TREES

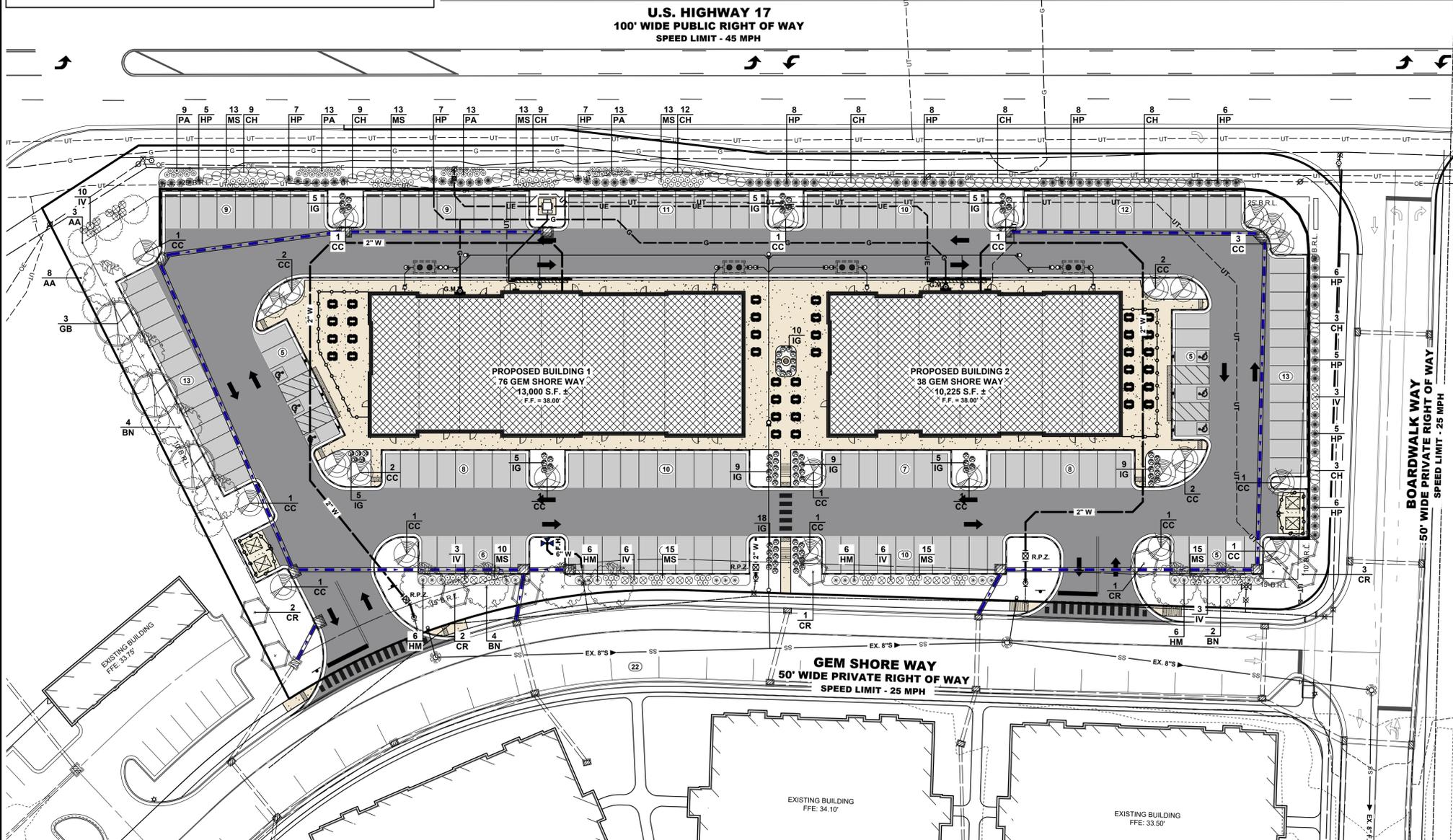
PLANT LIST						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CANOPY TREES						
BN	10	BETULA NIGRA 'DURA HEAT'	RIVER BIRCH	2" CAL	B&B	FHV
GB	3	GINKGO BILBOA 'AUTUMN GOLD'	MAIDENHAIR TREE	2" CAL	B&B	FHV
UNDERSTORY TREES						
AA	11	AMELANCHIER ARBOREA 'AUTUMN BRILLANCE'	SERVICEBERRY	4' HGT.	B&B	FHV
CC	25	CERCIS CANADENSIS 'FOREST PANSY'	REDBUD	4' HGT.	B&B	FHV
CR	9	CORNUS RUBRUM	PINK FLOWERING DOGWOOD	4' HGT.	B&B	FHV
SHRUBS						
CH	69	CEPHALOTAXIS HARRINGTONIA 'DUKE GARDENS'	FALSE YEW	24-36"	CONT.	
IG	85	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY	24-36"	CONT.	
IV	31	ILEX VERTICILLATA 'SPARKLEBERRY'	SPARKLEBERRY WINTERBERRY	24-36"	CONT.	
HM	22	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BIGLEAF HYDRANGEA	24-36"	CONT.	
HP	78	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	24-36"	CONT.	
GRASSES						
PA	48	PENNISETUM ALOPECUROIDES 'MOUNDRY'	FOUNTAIN GRASS	#3	CONT.	
MS	102	MISCANTHUS SINENSIS 'ADAGIO'	MAIDEN GRASS	#3	CONT.	
TOTAL: 13 CANOPY, 45 UNDERSTORY, 285 SHRUBS, 150 GRASSES						



SHRUB PLANTING DETAIL
NO SCALE BMG NO. L-03



DECIDUOUS TREE PLANTING DETAIL
NO SCALE BMG NO. L-01



GENERAL LANDSCAPE NOTES :

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN/AMERICAN STANDARDS FOR NURSERY STOCK.
EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.
PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.
UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.
MULCH FOR PLANTING BEDS SHALL BE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/OR SPREAD OUT IN NEW SOIL MIXTURE.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES.)
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
- AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
- NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
- NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
- ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
- TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE COUNTY AND/OR THE LANDSCAPE ARCHITECT.
- ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.
- NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHTS, SHRUBS, TREES, OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES AND ABOVE GROUND AND 10 FEET ABOVE GROUND WITHIN A TRIANGULAR SIGHT DISTANCE.

NORTH CAROLINA LANDSCAPE ARCHITECTS CERTIFICATION

I, CHAD D. CARTER, RLA, ASLA, HEREBY CERTIFY THAT I AM A LANDSCAPE ARCHITECT IN THE STATE OF NORTH CAROLINA, THAT THE LANDSCAPING INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF, REPRESENTS GOOD LANDSCAPING PRACTICES.

CHAD D. CARTER, RLA, ASLA 2185 DATE

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PROJECT TITLE

HEADWATERS: HAMPSTEAD OUTPARCELS

HAMPSTEAD PENDER COUNTY, NC

LANDSCAPE PLAN

0 15 30 60
SCALE: 1" = 30'

ISSUE BLOCK

2.	11/14/24	CONCEPT REVISION
1.	1/11/24	CONCEPT REVISION

MARK DATE DESCRIPTION

PROJECT NO.: 2023315.00
DATE: 11/16/2023
SCALE: 1" = 30'
DRAWN BY: A.J.D. / PROJ. MGR.: M.D.S.
SHEET

L-001
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